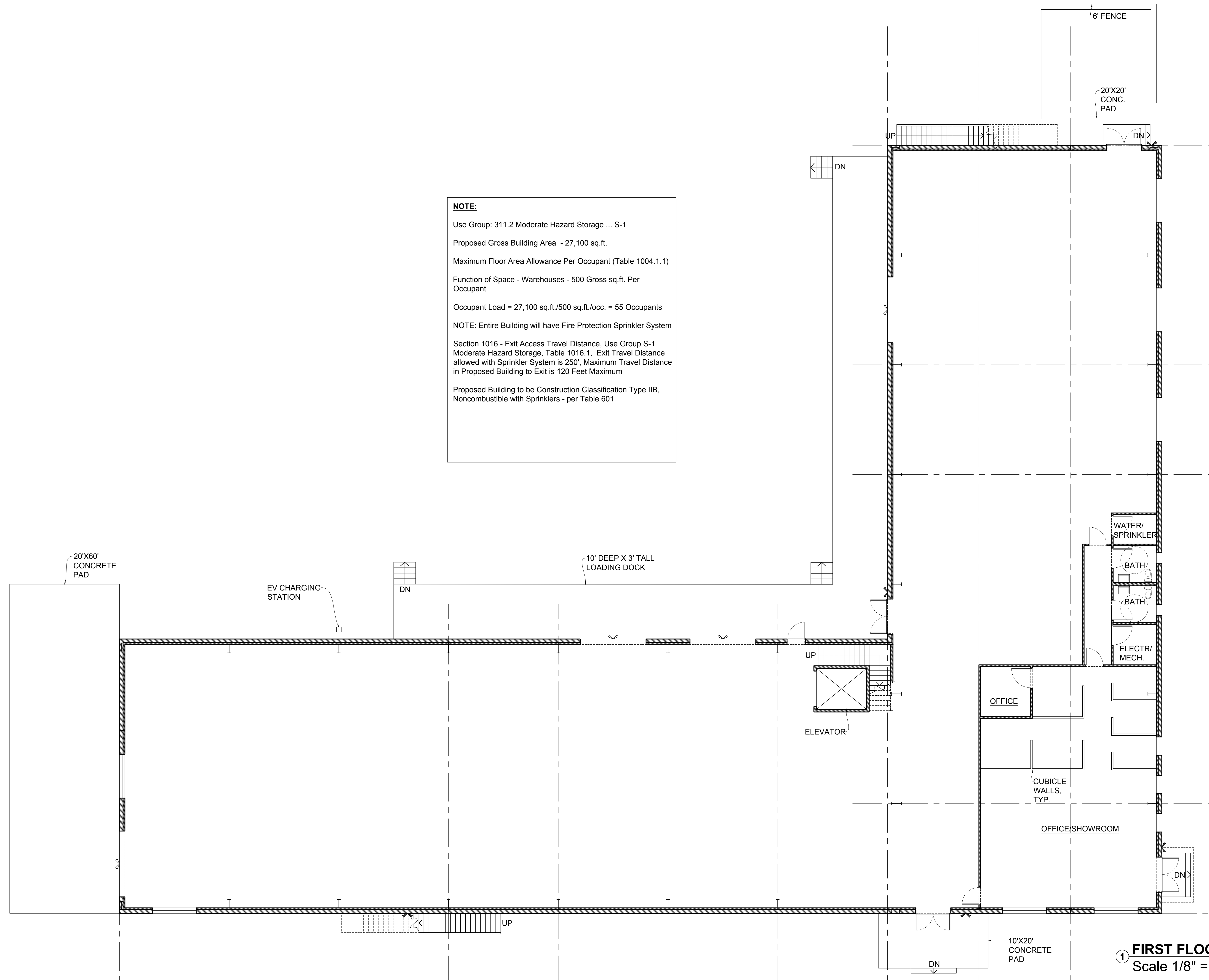


1 SITE PLAN
Scale 1/16" = 1'-0"

SHEET INDEX	
A01.....	Site Plan
A02.....	First Floor Plan, Second Floor Plan
A03.....	Exterior Elevations & Section
E01.....	Light & Security Plan
L01.....	Landscape, Planting, Drainage
B01.....	Buffers, Setbacks, Utilities
C01.....	Parking, Circulation Plan



NOTE:

Use Group: 311.2 Moderate Hazard Storage ... S-1

Proposed Gross Building Area - 27,100 sq.ft.

Maximum Floor Area Allowance Per Occupant (Table 1004.1.1)

Function of Space - Warehouses - 500 Gross sq.ft. Per Occupant

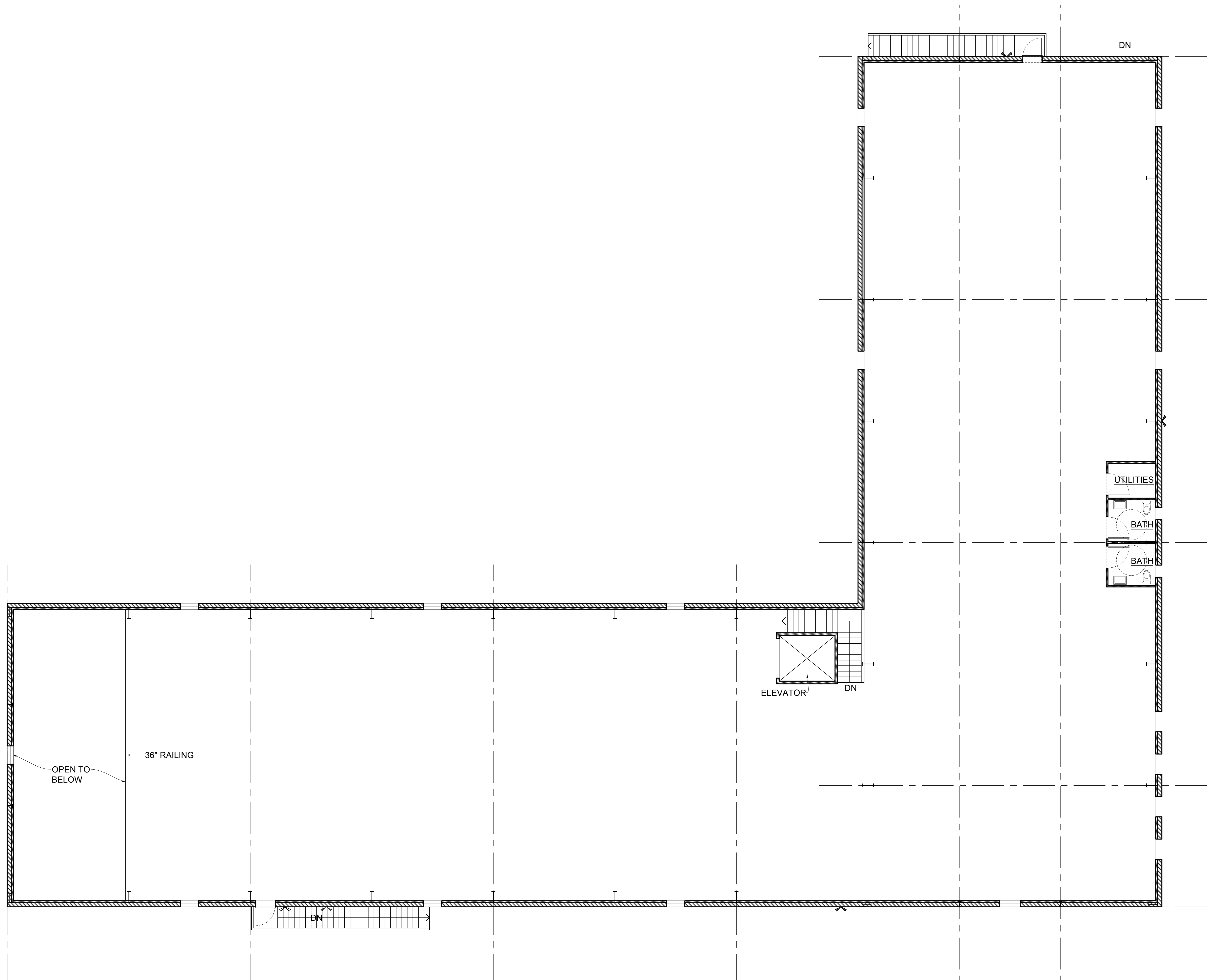
Occupant Load = 27,100 sq.ft./500 sq.ft./occ. = 55 Occupants

NOTE: Entire Building will have Fire Protection Sprinkler System

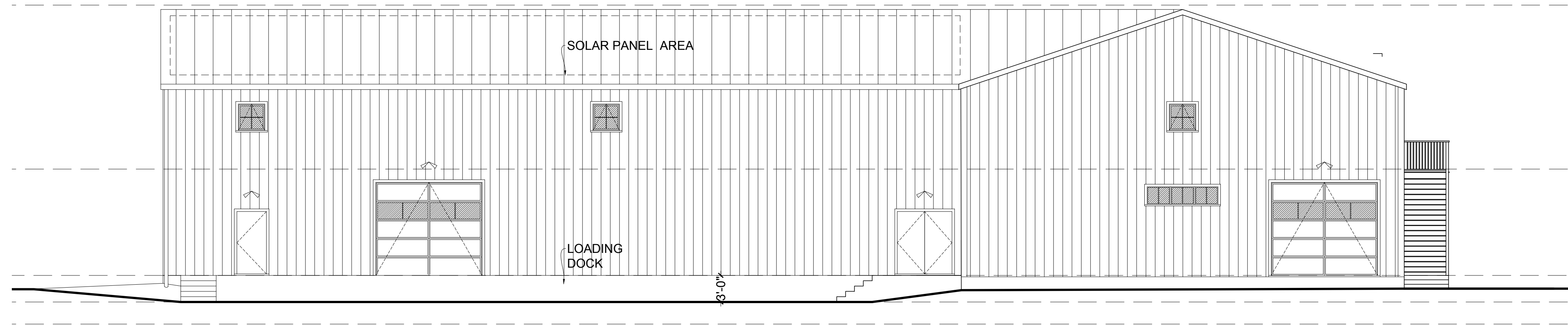
Section 1016 - Exit Access Travel Distance, Use Group S-1 Moderate Hazard Storage, Table 1016.1, Exit Travel Distance allowed with Sprinkler System is 250', Maximum Travel Distance in Proposed Building to Exit is 120 Feet Maximum

Proposed Building to be Construction Classification Type IIB, Noncombustible with Sprinklers - per Table 601

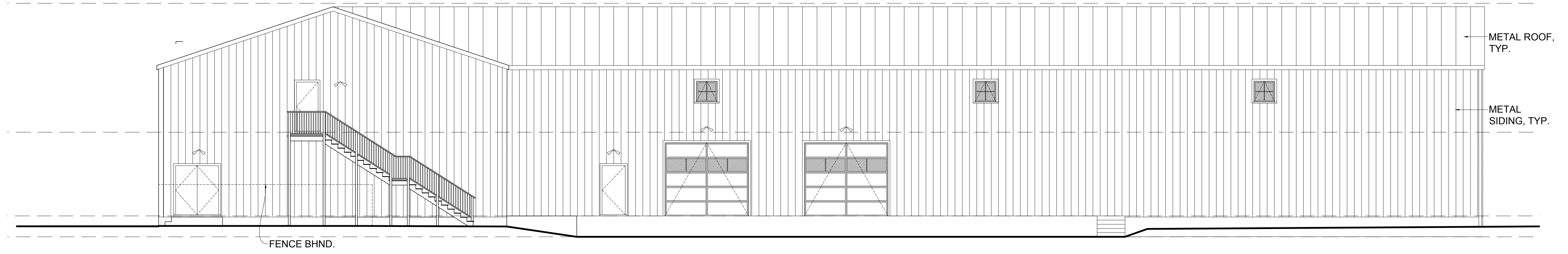
1 FIRST FLOOR PLAN
Scale 1/8" = 1'-0"



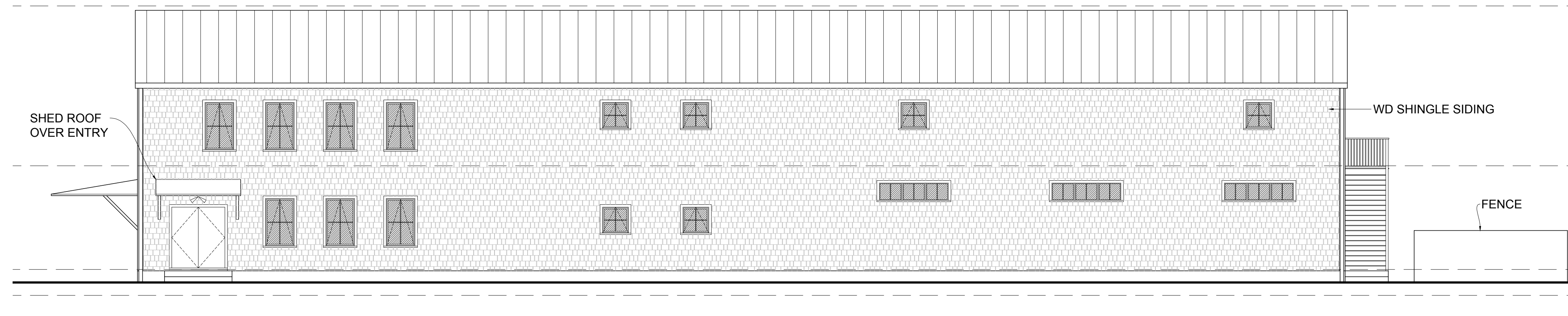
① **SECOND FLOOR PLAN**
 Scale 1/8" = 1'-0"



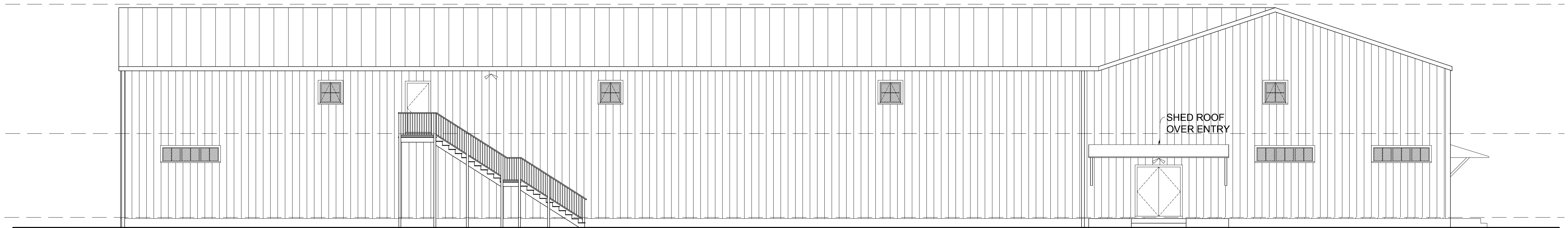
④ **SOUTH ELEVATION**
Scale 1/8" = 1'-0"



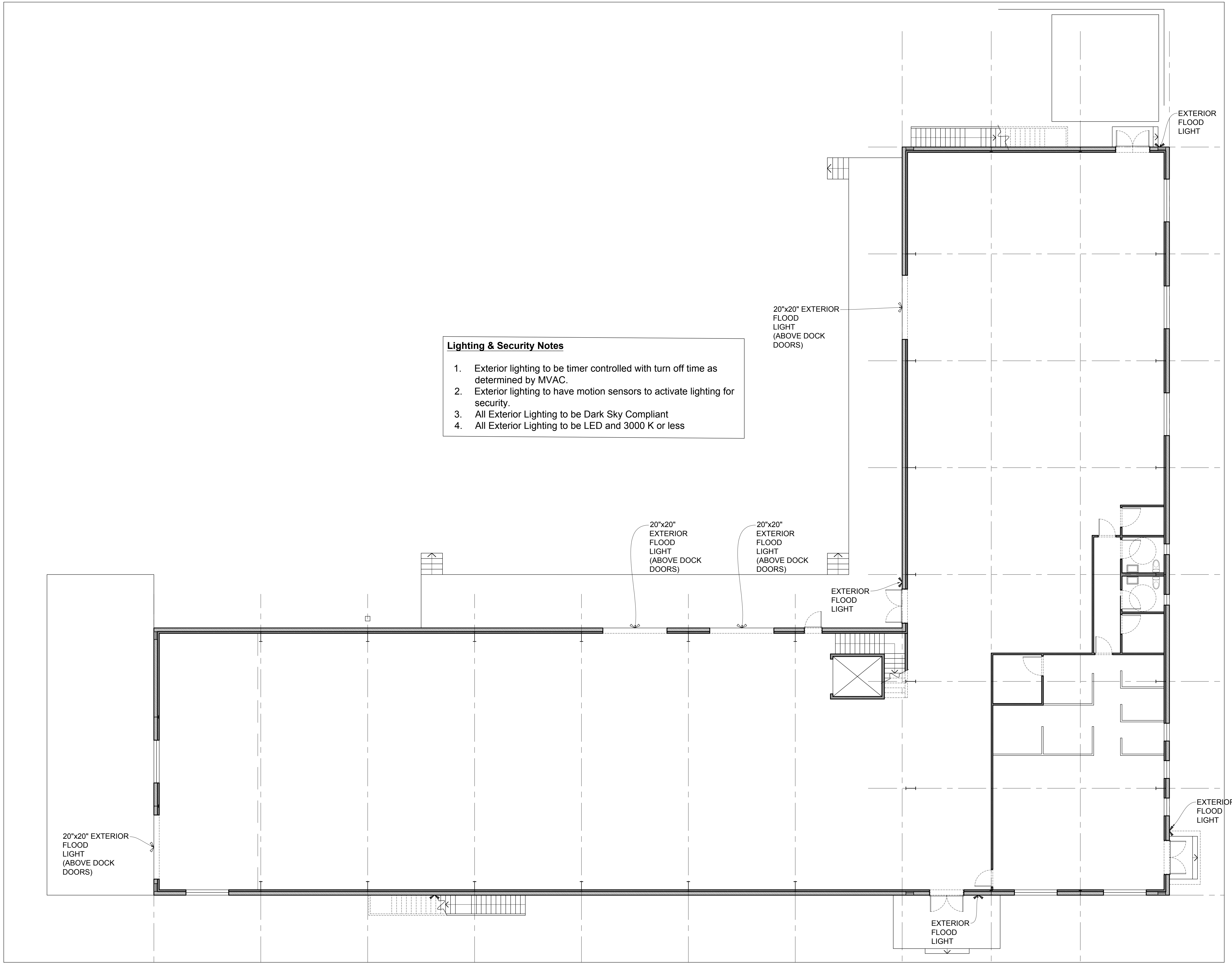
③ **WEST ELEVATION**
Scale 1/8" = 1'-0"



② **NORTH ELEVATION**
Scale 1/8" = 1'-0"



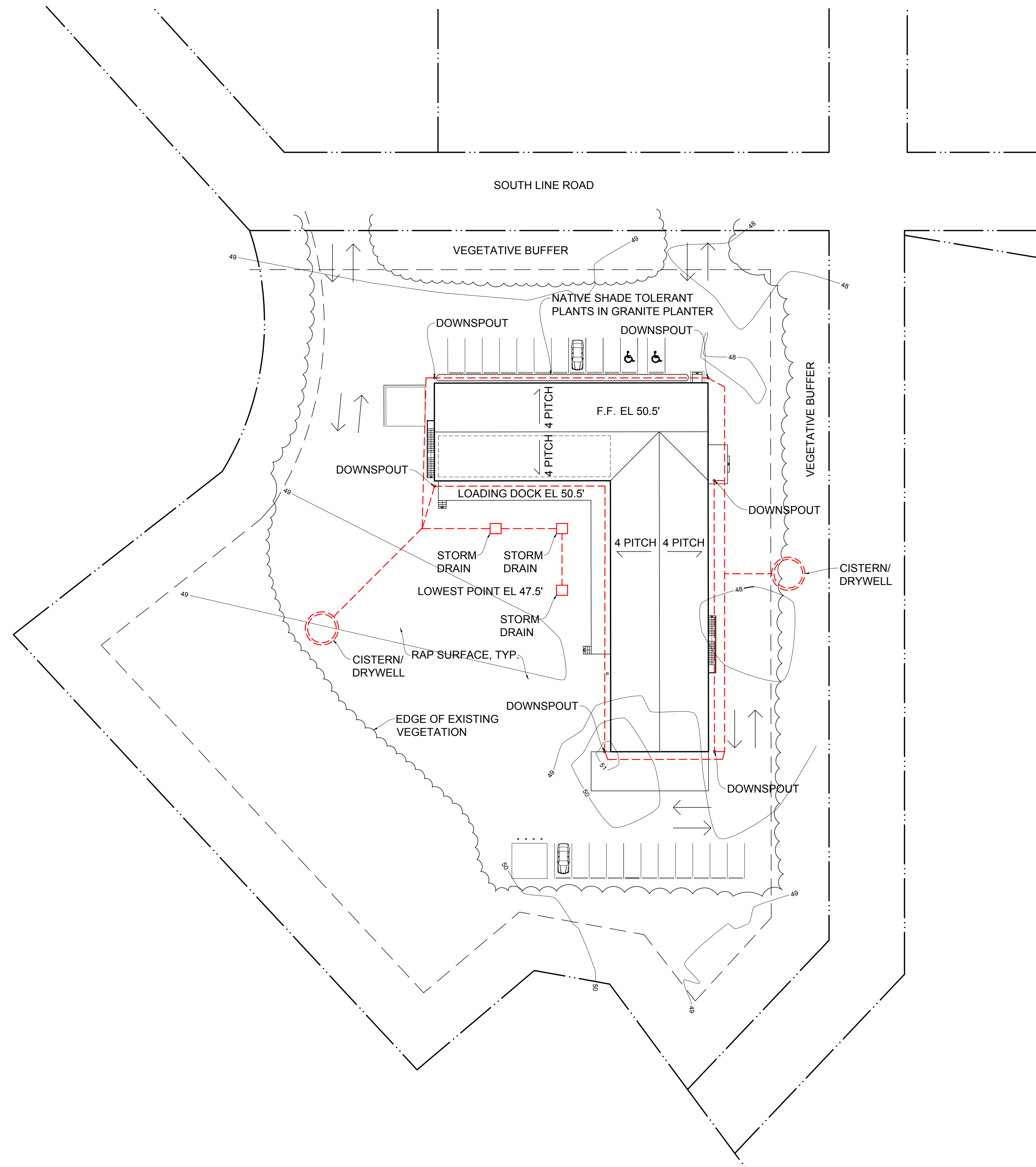
① **EAST ELEVATION**
Scale 1/8" = 1'-0"



Lighting & Security Notes

1. Exterior lighting to be timer controlled with turn off time as determined by MVAC.
2. Exterior lighting to have motion sensors to activate lighting for security.
3. All Exterior Lighting to be Dark Sky Compliant
4. All Exterior Lighting to be LED and 3000 K or less

① **FIRST FLOOR PLAN**
Scale 1/8" = 1'-0"



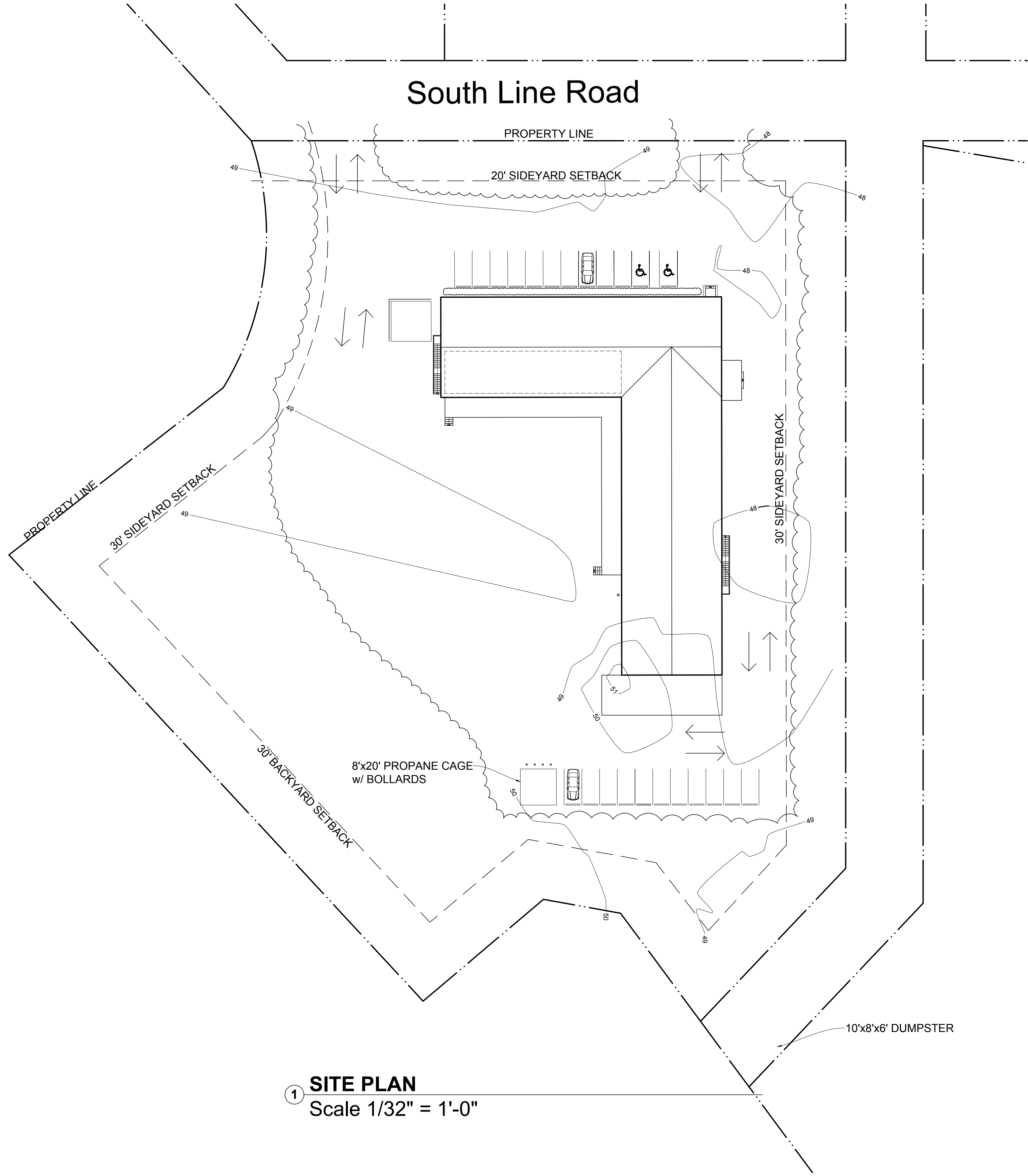
① **SITE PLAN**
Scale 1/32" = 1'-0"

Landscaping Notes

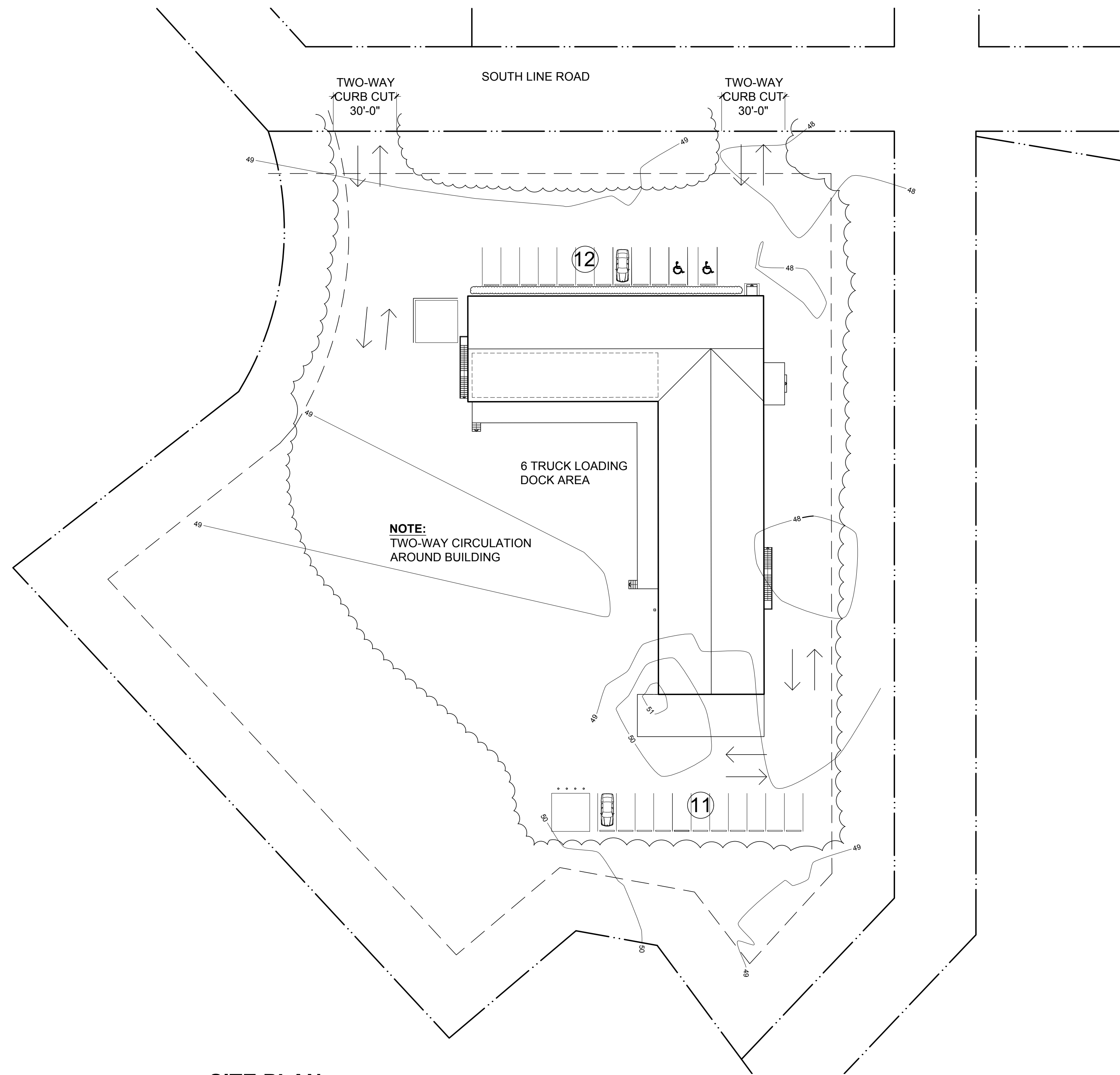
1. A 20' deep boulevard strip of native ground cover and trees will be maintained at the front lot line of the property.
2. Graded areas along the driveway and parking will be kept with low ground cover planting

Drainage Notes

1. All storm water from roof and parking areas to be retained on property with storm drains and drywell
2. Maximum slope on graded area to be 12 to 1 (3 to 1 is allowable maximum) except sloped area at loading dock.



① **SITE PLAN**
Scale 1/32" = 1'-0"



① **SITE PLAN**
Scale 1/32" = 1'-0"

Parking Notes

1. Twenty Three (21) 9'x20' standard parking spaces
2. Two (2) accessible spaces with 5' wide access provided
3. Six (6) Truck spaces at Loading Dock