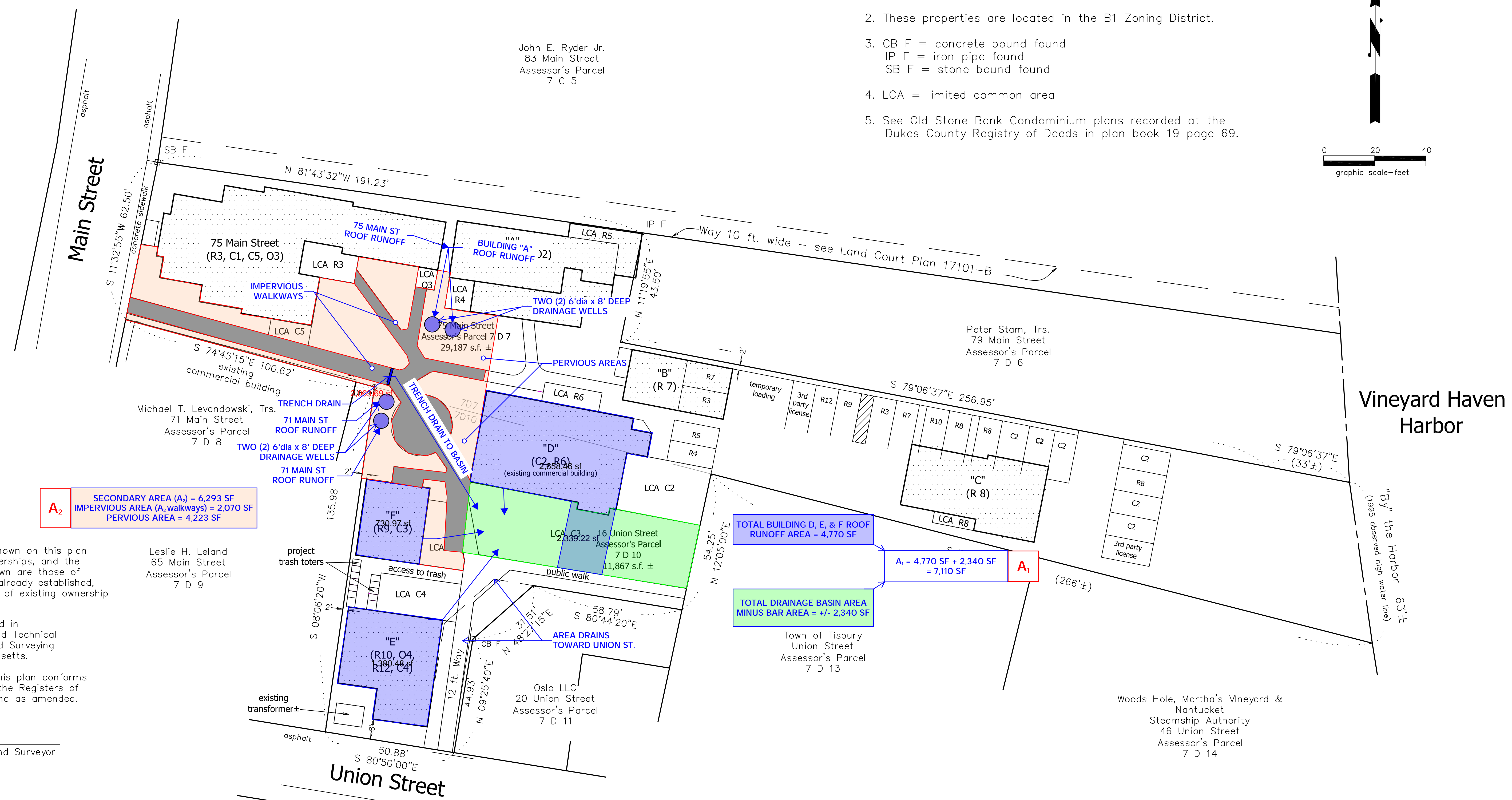
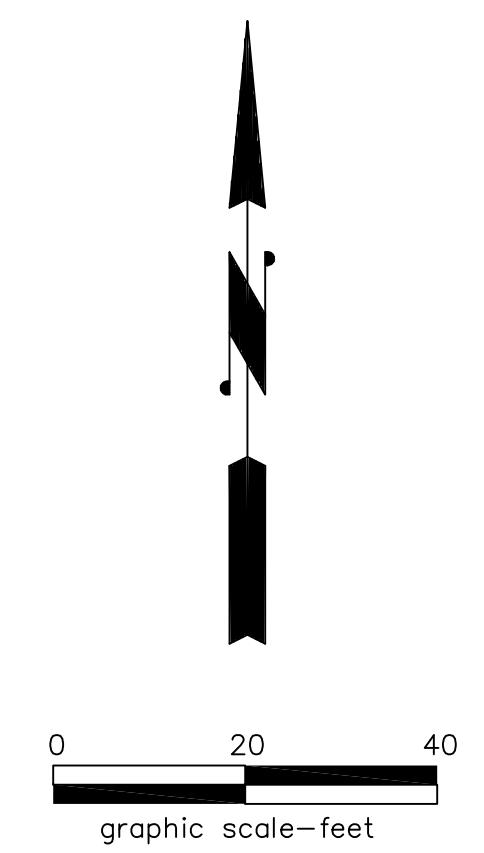


- Notes:
1. This plan was prepared by compiling past survey work performed on this property by Schofield, Barbini & Hoehn Inc. and with current field checking.
 2. These properties are located in the B1 Zoning District.
 3. CB F = concrete bound found
IP F = iron pipe found
SB F = stone bound found
 4. LCA = limited common area
 5. See Old Stone Bank Condominium plans recorded at the Dukes County Registry of Deeds in plan book 19 page 69.



A₂ SECONDARY AREA (A₂) = 6,293 SF
 IMPERVIOUS AREA (A₂, walkways) = 2,070 SF
 PERVIOUS AREA = 4,223 SF

TOTAL BUILDING D, E, & F ROOF RUNOFF AREA = 4,770 SF

TOTAL DRAINAGE BASIN AREA MINUS BAR AREA = +/- 2,340 SF

A₁ = 4,770 SF + 2,340 SF = 7,110 SF

I certify that the property lines shown on this plan are the lines dividing existing ownerships, and the lines of the streets and ways shown are those of public or private streets or ways already established, and that no new lines for division of existing ownership or for new ways are shown.

This survey and plan were prepared in accordance with the Procedural and Technical Standards for the Practice of Land Surveying in the Commonwealth of Massachusetts.

I certify that the preparation of this plan conforms with the rules and regulations of the Registers of Deeds effective January 1, 1976 and as amended.

Douglas R. Hoehn, Professional Land Surveyor

Date: _____

**Plan of Land in
Tisbury, Mass.**

Prepared For
Old Stone Bank Condominium

Scale: 1" = 20' November 9, 2021
Schofield, Barbini & Hoehn Inc.
 Land Surveying & Civil Engineering

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 Sheet 1 OF 3