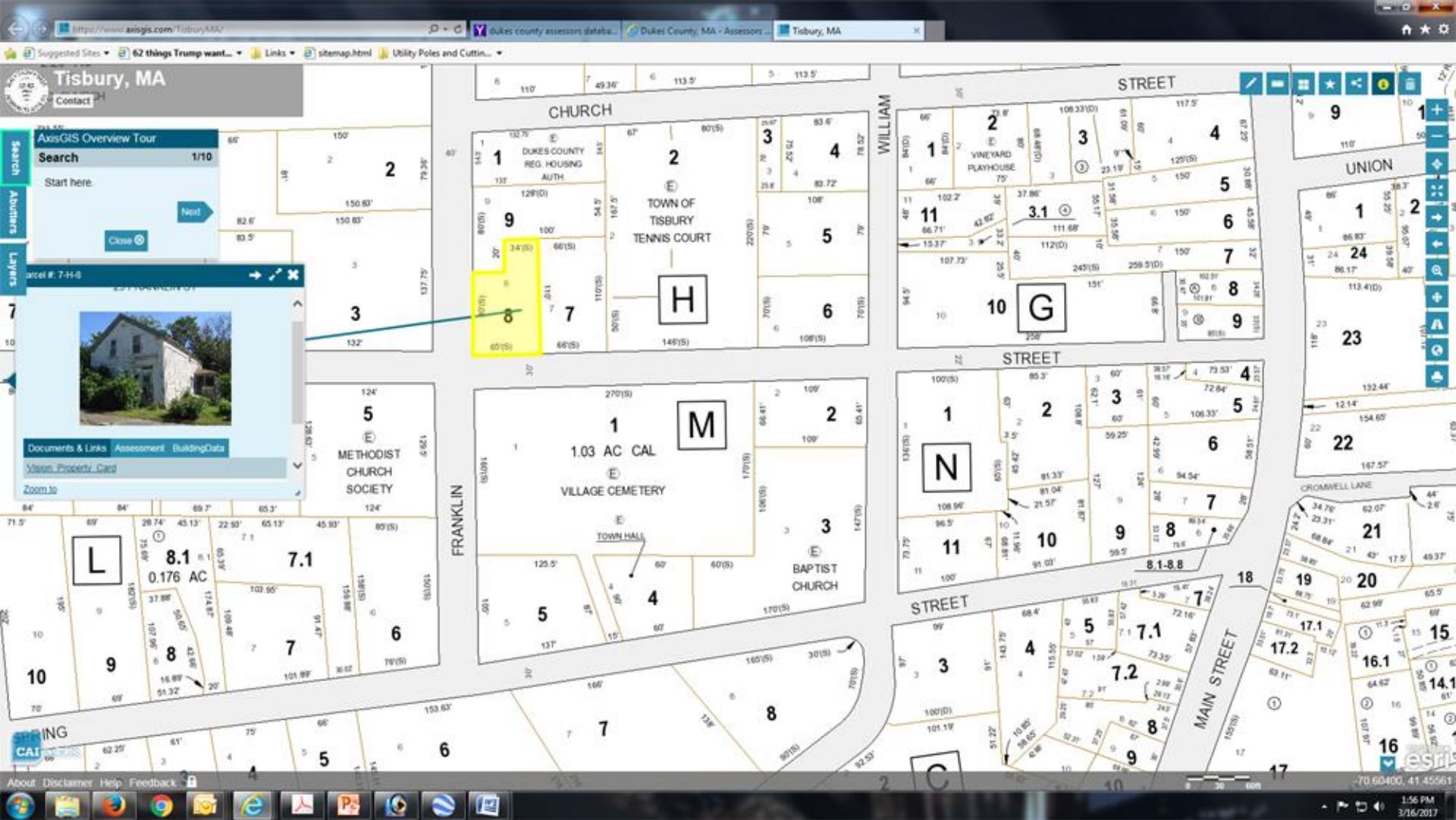


DRI 675 - Westman/29 Franklin Historic Demolition



Tisbury, MA

Contact

GIS Overview Tour

Search 1/10

Start here.

Next

Close

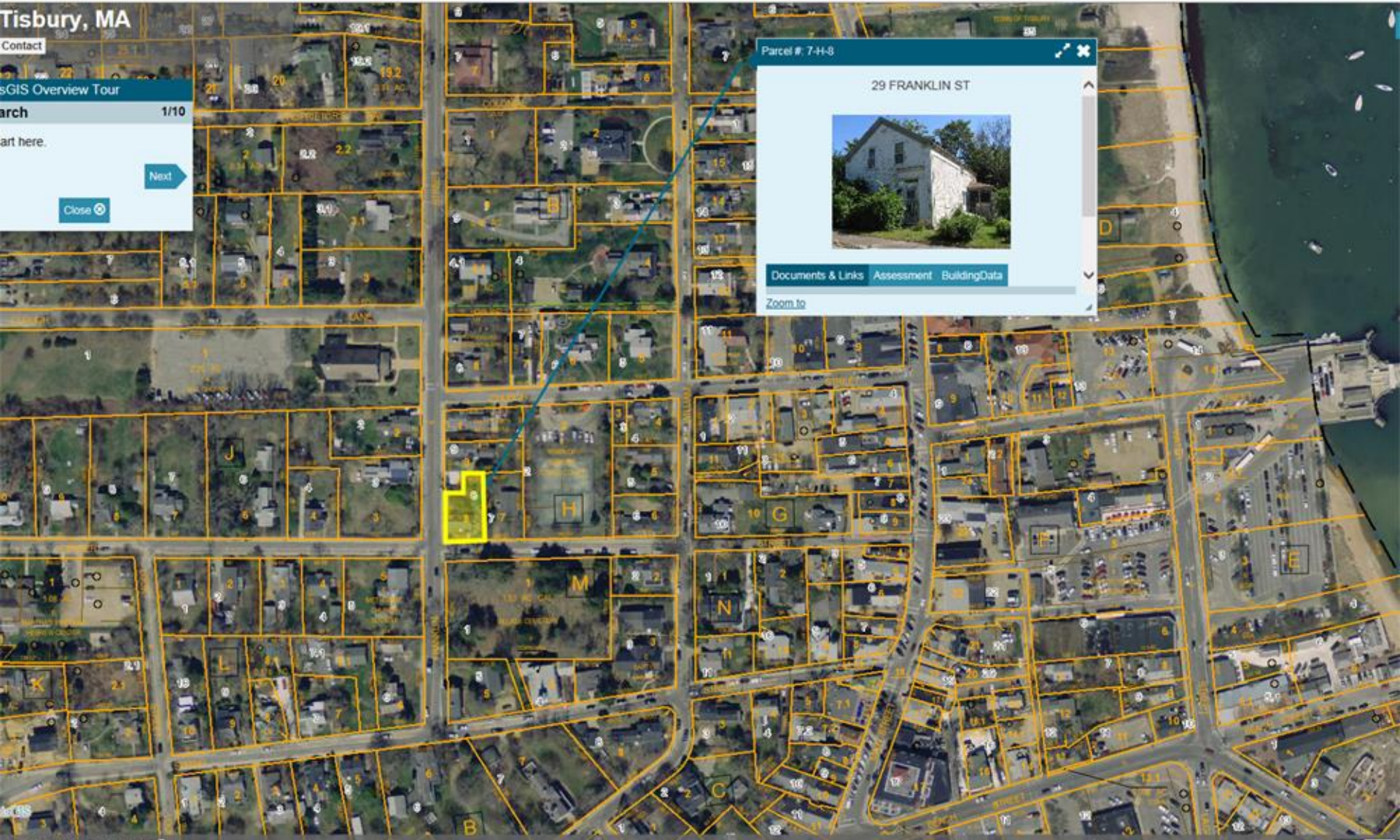
Parcel #: 7-H-8

29 FRANKLIN ST



Documents & Links Assessment BuildingData

Zoom to



29 Franklin Street Vineyard Haven, Tisbury MA



DRI 675 - Westman/29 Franklin Historic Demolition

Applicant: William Westman and Cees Van Eijk

Location: 29 Franklin St., Vineyard Haven (Map 7N Lot 5 – 0.115 acres)

Proposal: To demolish a house built in at least 1850 (possibly earlier).

Surrounding Land Uses: Residential, Village Cemetery, Methodist Church; Tennis Courts.

Permits: Demolition Permit; Building Permit; Board of Health; Zoning Board of Appeals (for demolition, reconstruction and expansion of a pre-existing non-conforming structure).

Project History: The building was built in at least 1850 (possibly earlier).

Project Summary:

- The proposal is to demolish a house in Tisbury built in at least 1850 (possibly earlier).
- The Applicant has plans to build a similar style house on the footprint with an addition.
- The Applicant has said he and his partner originally intended to restore the house but when they got inside and began removing plaster and paneling found the house to be too far gone.

Some Key Issues

Does the demolition of this historic house rise to the level of a D.R.I.?

Is the replacement house in keeping in style and materials with the historic building?

Applicants Narrative



First floor

Most of the downstairs consisted of rotted and molded 1960s paneling. The kitchen had pressed board Cabinetry that was bloated moldy water saturated with peeling up formica counters. Removal of the carpets revealed a broken floor joist and remnants of where the walls had been at one time. Mold and mildew was throughout with lots of newspapers and debris. The front bedroom had a tree growing through the floor and wall. No insulation was found and very little wiring. The existing wiring was knob and tube which is not to current code and a fire hazard.



Applicants Narrative



Floor

The floor is not structurally sound and has failed in numerous places. There are broken beams due to bug damage and missing floor boards. There have been big cut outs for heater vents. The floor structure has been compromised.



Action needed

The entire floor structure needs to be ripped out and new sills and floor beams need to be installed also subfloor and hardwoods.

Applicants Narrative

Exterior

This Greek revival farm style was popular in 1850's and the lines of the house are very appealing. This house has clapboarding on the front and cedar shakes on the rest.



Actions needed:

All the Cedar Shakes and siding need replacing. Almost all the trim is missing and needs to be replaced. All the windows, doors, shutters, gutters need to be replaced. There was a structure on the left side of the house that has rotted and fallen off the house completely. The screened porch on the right side of the house is totally rotted and unsafe.

The outside fencing is all rotted especially around the outdoor shower and all needs to be replaced.

Applicants Narrative



Action needed: A new foundation needs to be dug and poured. Cellar space to be used in keeping an HVAC room and family room. This will allow the building to be on stable ground free from rodents and bugs and also able to control the moisture problems that allowed mold growth.









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Exit Street View



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Tour Guide

















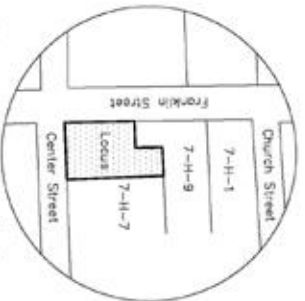












Locus Map No Scale

Timothy J. Lovett
Assessor's Parcel
7 H 9



Franklin Street

Center Street

29 Franklin Street
Assessor's Parcel
7 H 8
6,268 s.f.±

sidewalk

±0.11'

existing dwelling
ft±=51.5'±

proposed
addition

Wendy C. & Jeffrey B. Lott
Assessor's Parcel
7 H 7

sidewalk

65'±

12'

9'

16'

18'

14'

80'±

35'±

26'±

34'±

w9

Site Plan

Tisbury, Mass.

Prepared For

William Westman

Scale: 1" = 10' November 17, 2016

Schofield, Barbini & Hoehn Inc.

Land Surveying & Civil Engineering

12, Surveyor's Lane, Box 339
Vineyard Haven, Mass. 02568

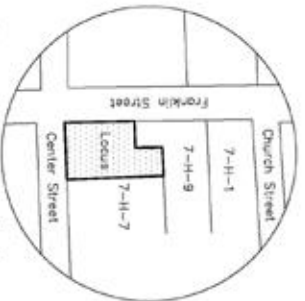
508-693-2781

www.sbhinc.net

MV 11534

- Notes:
1. The property is located in the R10 Zoning District. Minimum lot size is 10,000 s.f., minimum setback requirements for a principal structure are 20 ft. front, 10 ft. side, 20 ft. rear, minimum setback requirements for an accessory structure are 20 ft. front, 5 ft. side & rear. The deeds to locus and to abutting parcels do not have dimensions. The property lines of locus have been plotted based on Tisbury Assessor's Maps.
 - 2.





Locus Map No Scale

Timothy J. Lovett
Assessor's Parcel
7 H 9



Franklin Street

Center Street



29 Franklin Street
Assessor's Parcel
7 H 8
6,268 s.f.±

Wendy C. & Jeffrey B. Lott
Assessor's Parcel
7 H 7

Site Plan Tisbury, Mass.

Prepared For

William Westman

Scale: 1" = 10' November 17, 2016

Schofield, Barbini & Hoehn Inc.

Land Surveying & Civil Engineering

12, Surveyor's Lane, Box 339
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MA 11534

- Notes:
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 - 2.



Franklin Street

Center Street



29 Franklin Street
Assessor's Parcel
7 H 8
6,268 s.f.±

existing dwelling
FO=51.5'±

proposed
addition

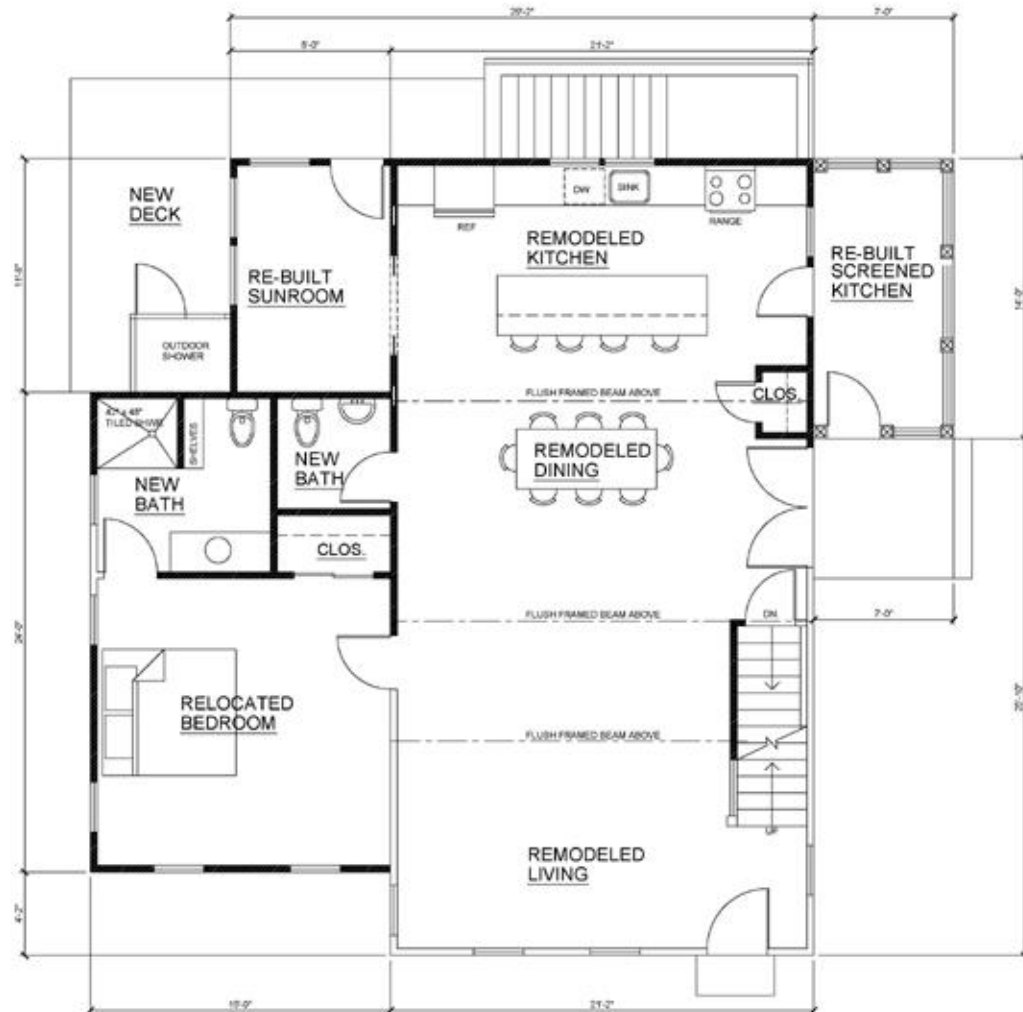
Wendy C. &
Assess

City of

Notice

Proposed

PRELIMINARY DRAWING
FOR DESIGN REVIEW



FIRST FLOOR PLAN



COTUIT BAY DESIGN, LLC
43 BREWSTER ROAD
MASHPEE, MA. 02649
PH. (508) 274-1166
FAX (508) 539-9402

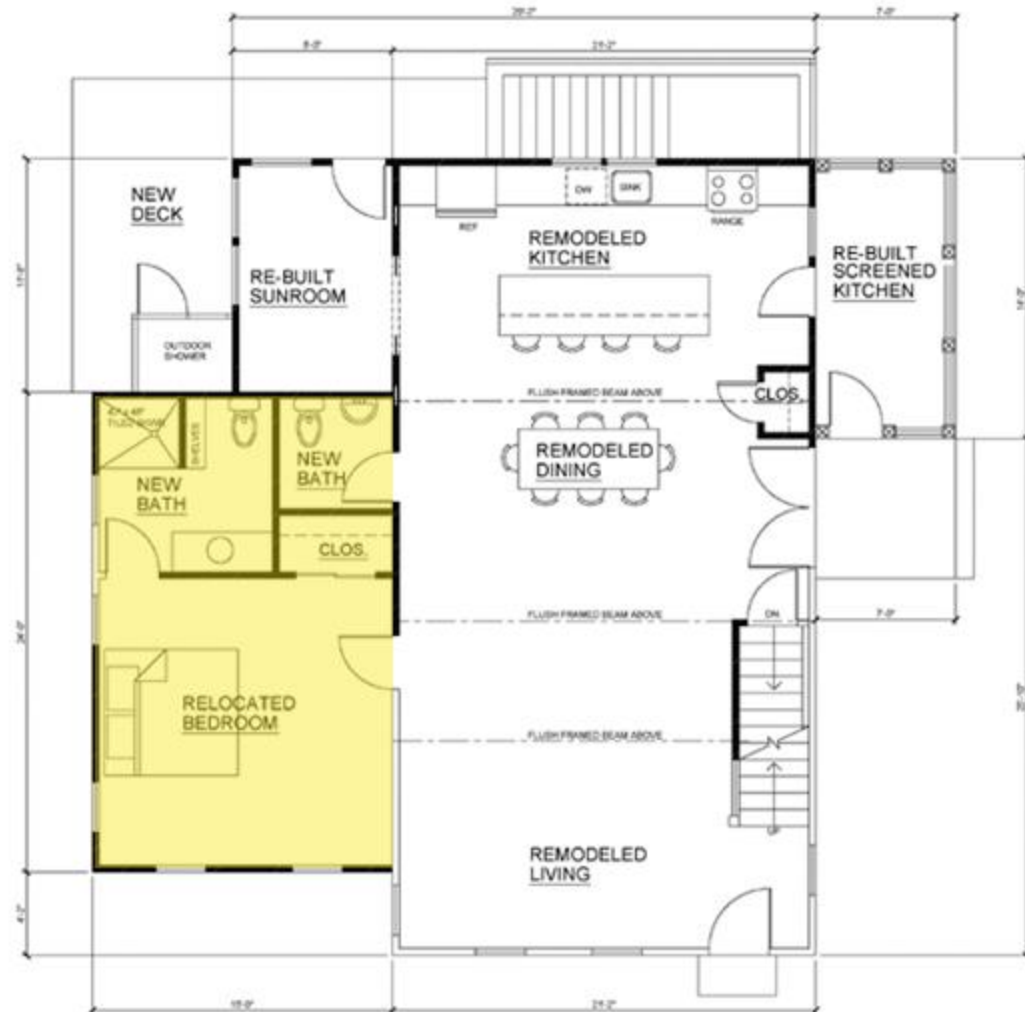
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VAN EIJK & WESTMAN RESIDENCE
29 FRANKLIN STREET VINEYARD HAVEN, MA

THE DESIGNER SHALL BE NOTIFIED 7 DAYS BEFORE OF ANY CHANGES AND PROVISIONS TO BE MADE TO THE CONTRACT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE CONTENT OF THESE DRAWINGS. THE ARCHITECTURAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THESE DRAWINGS AND SHALL BE RESPONSIBLE FOR THE COST OF THESE DRAWINGS. THE ARCHITECTURAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF THESE DRAWINGS UNDER THE ARCHITECTURAL CONTRACT PROTECTIVE ACT OF 1980.

SCALE :
1/4" = 1'-0"
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11/09/2016

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A1

Additional



FIRST FLOOR PLAN



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SCALE :
1/4" = 1'-0"
DATE :
11/09/2016

DRAWING NO. :
A1

Proposed

PRELIMINARY DRAWING
FOR DESIGN REVIEW



SECOND FLOOR PLAN



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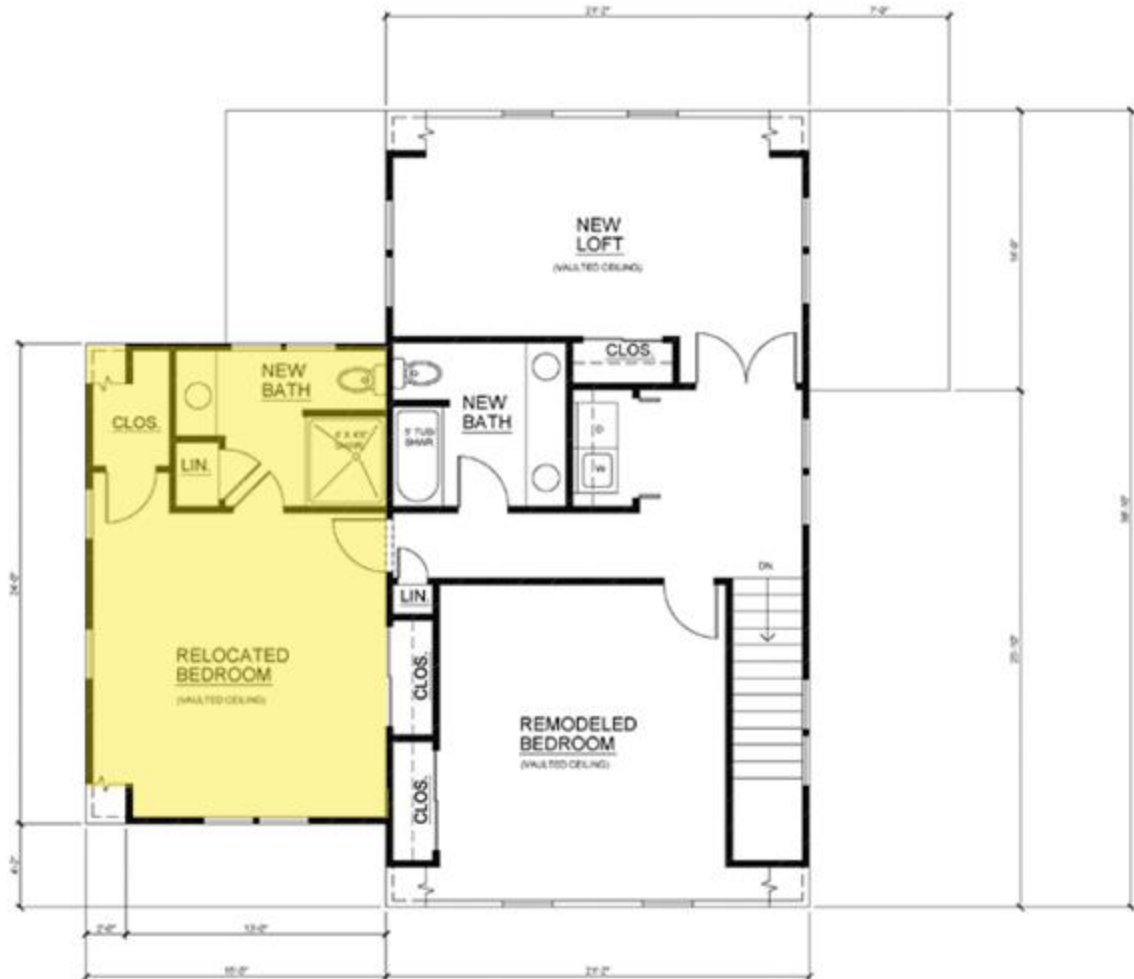
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SCALE :
1/4" = 1'-0"
DATE :
11/09/2016

DRAWING NO. :
A2

Additional



SECOND FLOOR PLAN



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29 FRANKLIN STREET VINEYARD HAVEN, MA**

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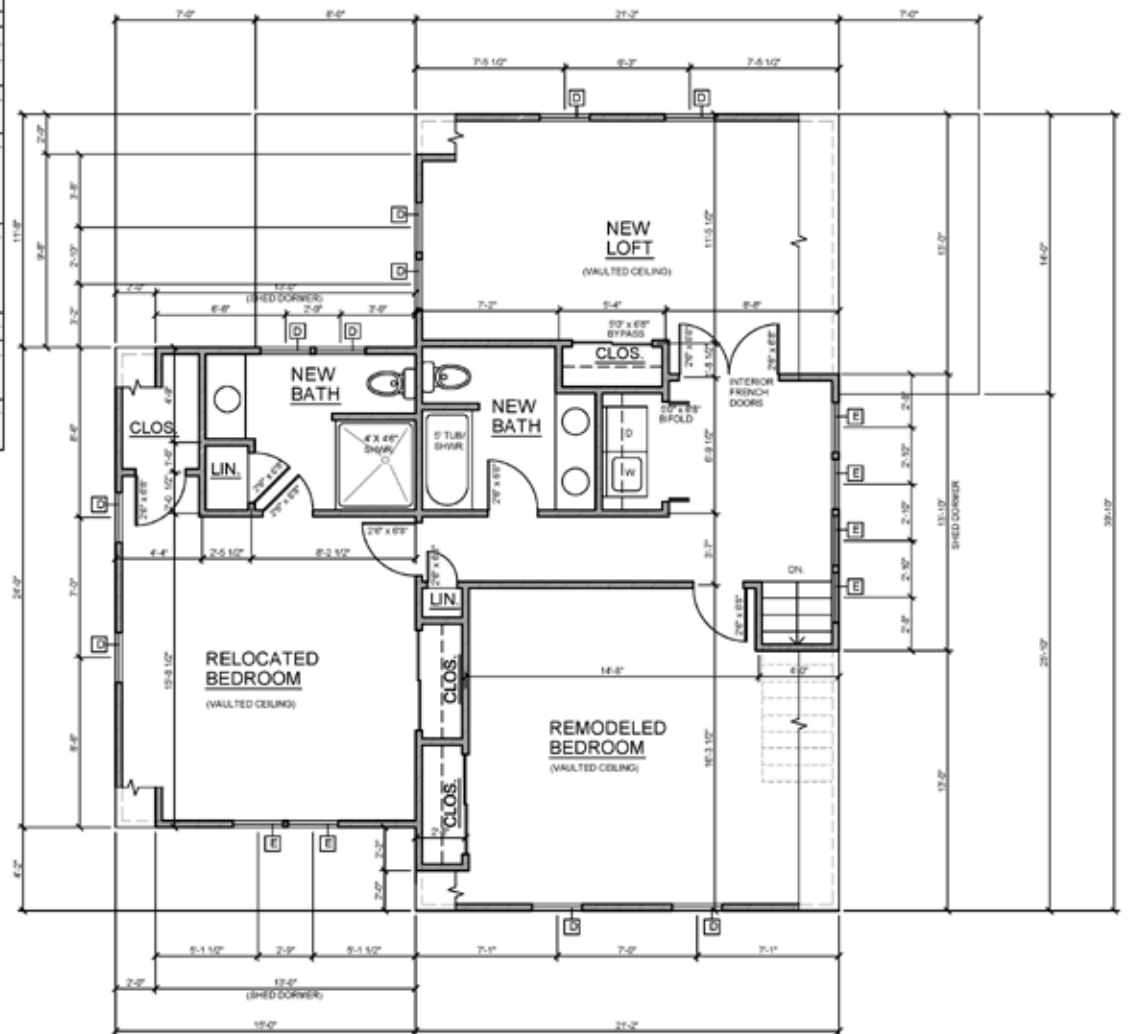
SCALE :
1/4" = 1'-0"
DATE :
11/09/2016

DRAWING NO. :
A2

NAILING SCHEDULE

110 MPH EXPOSURE B WIND ZONE

JOINT DESCRIPTION	NO. OF COMMON NAILS	NO. OF BOX NAILS	NAIL SPACING
ROOF FRAMING			
BLOCKING TO RAFTER (TOE NAILED)	3-8d	3-10d	EACH END
BM BOARD TO RAFTER (END NAILED)	3-16 d	3-10d	EACH END
WALL FRAMING			
TOP PLATES AT INTERSECTIONS (FACE NAILED)	4-10d	5-16d	AT JOINTS
STUD TO STUD (FACE NAILED)	3-16 d	2-16d	24" o.c.
HEADER TO HEADER (FACE NAILED)	10d	10d	18" o.c. ALONG EDGES
FLOOR FRAMING			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED)	4-8d	4-10d	PER JOIST
BLOCKING TO JOIST (TOE NAILED)	3-8d	3-10d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE NAILED)	3-16d	4-16d	EACH BLOCK
LEADER STRIP TO BEAM OR GIRDER (FACE NAILED)	3-16d	4-16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE NAILED)	3-8d	3-10d	PER JOIST
BAND JOIST TO JOIST (END NAILED)	3-10d	4-10d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)	3-16 d	3-16d	PER FOOT
ROOF SHEATHING			
WOOD STRUCTURAL PANELS (PLYWOOD)		10d	6" EDGE/12" FIELD
RAPERS OR TRUSSES SPACED UP TO 18" o.c.	8d	10d	4" EDGE/8" FIELD
RAPERS OR TRUSSES SPACED OVER 18" o.c.	8d	10d	4" EDGE/8" FIELD
GABLE END WALL RAKE OR RAKE TRUSS TWO OVERHANGS	8d	10d	6" EDGE/8" FIELD
GABLE END WALL RAKE OR RAKE TRUSS	8d	10d	4" EDGE/8" FIELD
W/ STRUCTURAL OUTLOOKERS	8d	10d	4" EDGE/8" FIELD
GABLE END WALL RAKE OR RAKE TRUSS W/ LOCKOUT BLOCKS	8d	10d	4" EDGE/8" FIELD
CILING SHEATHING			
GYPSUM WALLBOARD	5d COOLERS	---	7" EDGE/12" FIELD
WALL SHEATHING			
WOOD STRUCTURAL PANELS (PLYWOOD)		10d	6" EDGE/12" FIELD
STUDS SPACED UP TO 24" o.c.	8d	---	7" EDGE/12" FIELD
12" x 25/32" FIBERBOARD PANELS	8d	---	7" EDGE/12" FIELD
1/2" GYPSUM WALLBOARD	5d COOLERS	---	7" EDGE/12" FIELD
FLOOR SHEATHING			
WOOD STRUCTURAL PANELS (PLYWOOD)		10d	6" EDGE/12" FIELD
1" OR LESS THICKNESS	10d	16d	6" EDGE/8" FIELD



SECOND FLOOR PLAN



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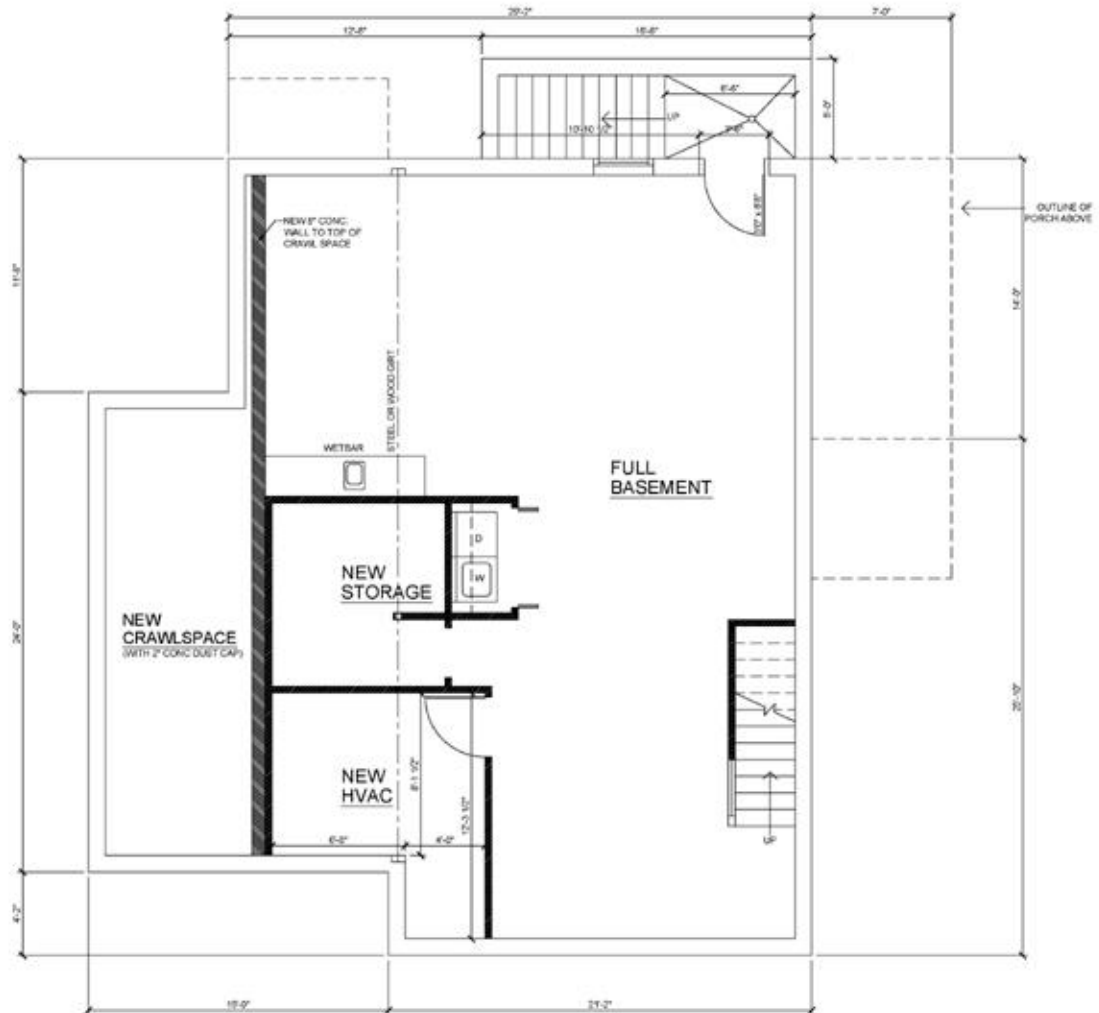
THE OWNER SHALL BE NOTIFIED BY ANY CHANGE OR CANCELLATION OF PERMITS OR LICENSES (INCLUDING ANY TO EXEMPT OR WAIVER) FROM THE BELOW CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTENT OF THIS DRAWING. IT IS THE RESPONSIBILITY OF THE OWNER TO NOTIFY THE BOARD OF ARCHITECTS OF ANY CHANGES TO THE ORIGINAL SET OF DRAWINGS AND TO POST THE USE OF THESE DRAWINGS BEGINS THE WRITTEN CONSENT OF THE ENGINEER AND THE ARCHITECTURAL, COPYRIGHT PROTECTION ACT OF 1976.

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BASEMENT PLAN



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SCALE :
1/4" = 1'-0"
DATE :
11/09/2016

DRAWING NO. :
A5

Superseded

PRELIMINARY DRAWING
FOR DESIGN REVIEW



FRONT ELEVATION



RIGHT ELEVATION



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SCALE :
1/4" = 1'-0"
DATE :
11/09/2016

DRAWING NO. :
A3

Revised May 17, 2017

FIRST FLOOR DOUBLEHUNG WINDOWS AR 4'9" HIEIGHT AND SECOND FLOOR DOUBLEHUNG WINDOWS AR 4'1" HEIGHT WHICH IS THE MINIMUM HEIGHT FOR BEDROOM EGRESS



ALL NEW TRIM TO MATCH EXISTING HOUSE TRIM



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SCALE :
1/4" = 1'-0"
DATE :
5/16/2017

DRAWING NO. :
A3

Revised Showing

- Smaller dormer
- 6 over 6 windows
- Shutters

FIRST FLOOR DOUBLEHUNG WINDOWS AR 4'9" HIEIGHT AND SECOND FLOOR DOUBLEHUNG WINDOWS AR 4'1" HEIGHT WHICH IS THE MINIMUM HEIGHT FOR BEDROOM EGRESS



FRONT ELEVATION



RIGHT ELEVATION

ALL NEW TRIM TO MATCH EXISTING HOUSE TRIM



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THE OWNER SHALL BE NOTIFIED BY ANY
 PROVIDER OF LAMBERT AND PRINCE OR
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 CONSTRUCTION. THE DESIGN CONTRACTOR
 SHALL BE RESPONSIBLE FOR THE CONTENT
 IN THIS DRAWING. CONSULT WITH
 COUNCILORS WITHOUT BIDDING THE
 DESIGN OF ANY EXISTING OR REMODELING
 WORK (CONTRACT AND S.A.F.) AND THE USE
 OF THE LAMBERT AND PRINCE OR THE USE
 OF THESE DRAWINGS SHALL BE THE SOLE
 RESPONSIBILITY OF THE DESIGNER UNDER THE
 APPLICABLE LAW, CONTRACT PROTECTION
 ACT OF 1988.

SCALE :
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DATE :
 5/22/2017

DRAWING NO. :
A3

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PRELIMINARY DRAWING
FOR DESIGN REVIEW



REAR ELEVATION



LEFT ELEVATION



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SCALE :
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DATE :
11/09/2016

DRAWING NO. :
A4

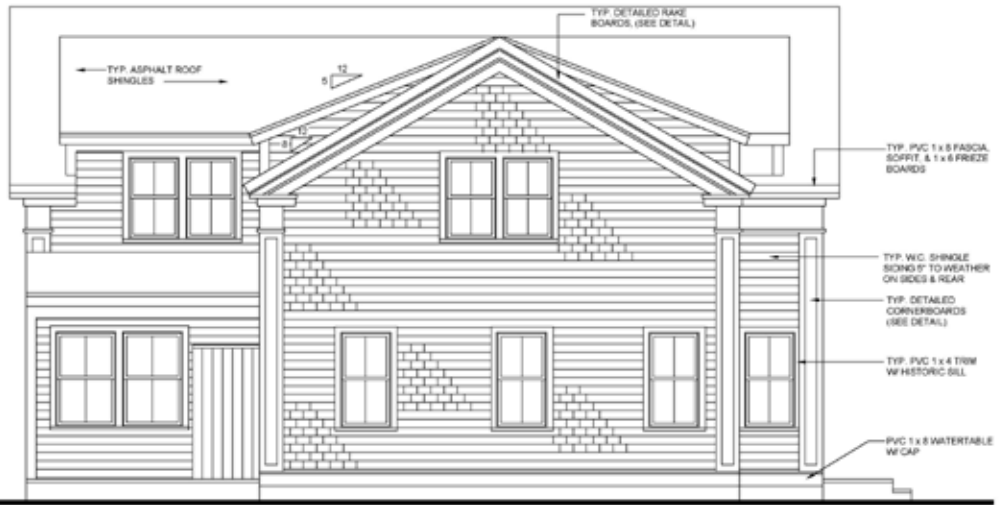
Revised
 May 17, 2017



REAR ELEVATION

FIRST FLOOR DOUBLEHUNG WINDOWS
 AR 4'9" HIEIGHT AND SECOND FLOOR
 DOUBLEHUNG WINDOWS AR 4'1" HEIGHT
 WHICH IS THE MINIMUM HEIGHT FOR
 BEDROOM EGRESS

ALL NEW TRIM TO MATCH
 EXISTING HOUSE TRIM



LEFT ELEVATION



COTUIT BAY DESIGN, LLC
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NEW REMODELING FOR:
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 CONSTRUCTION. THE BUILDING CONTRACTOR
 WILL BE RESPONSIBLE FOR THE CONTENT
 IN THESE DRAWINGS IF CONSTRUCTION
 COMMENCES WITHOUT NOTIFYING THE
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 THESE DRAWINGS ARE SOLELY FOR THE USE
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 CONSENT OF THE DESIGNER UNDER THE
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 ACT OF 1990.

SCALE :
 1/4" = 1'-0"
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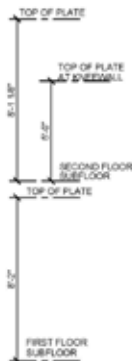
DRAWING NO. :
A4



REAR ELEVATION

ALL NEW TRIM TO MATCH EXISTING HOUSE TRIM

LEFT ELEVATION



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29 FRANKLIN STREET VINEYARD HAVEN, MA

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2828 Franklin St



Exit Street View



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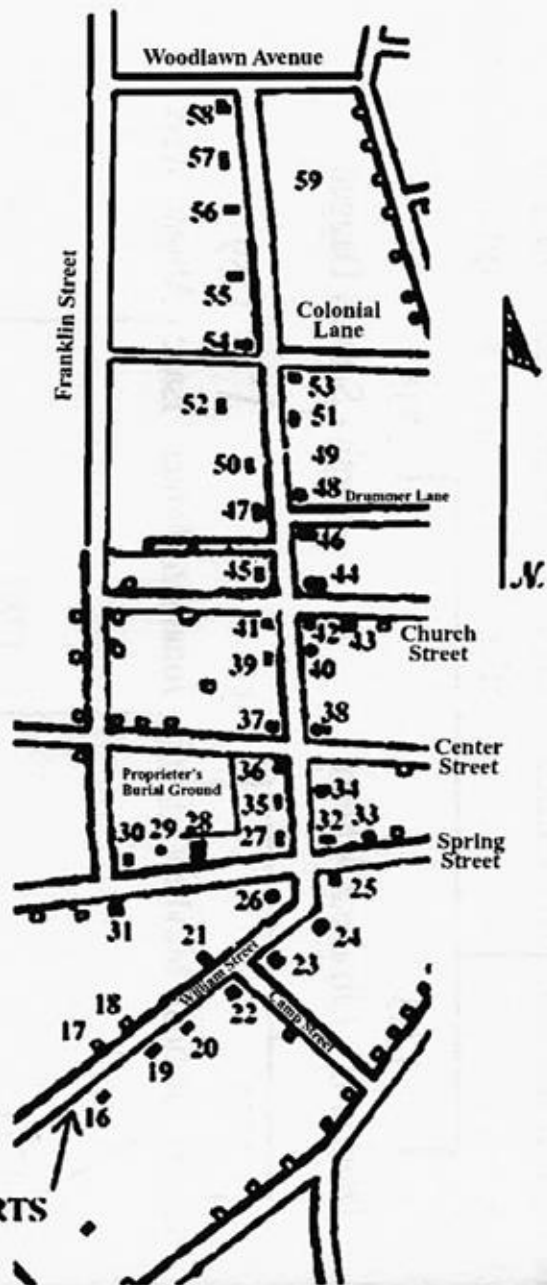
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[Tour Guide](#)

LIST OF HOUSES ON TOUR:

16. Eldridge House (1881)
17. Benjamin Brown House (1840)
18. Benjamin Crowell House (1837)
19. James Peakes House (1844)
20. Jesse Luce III House (1840)
21. Richard G. Luce House (1833)
22. Charles Harding House (1838)
23. Thomas Tuckerman House (1836)
24. John Swain House (1837)
25. William Crowell House (1836)
26. Thomas Bradley House (1838)
27. The Baptist Church (1884)
28. Association Hall (1844)
29. Shubael Merry Barn (1820)
30. John Howland House (1864)
31. Gilbert Smith House (1851)
32. Jane Smith Luce House (1843)
33. Timothy Merry (1803)
34. Ephriam Harding (1838)
35. Lydia Chase House (1840)
36. Elisha Dexter House (1839)
37. Nathan Skiffe Smith House (1849)
38. Thomas Barrows House (1840)
39. Isaac Daggett House (1842)
40. Mary Carey House (1840)
41. Alonzo Daggett House (1839)
42. David Porter West House (1845)
43. Capawock Hall (1833)
44. Methodist Church (1924)
45. William Daggett III House (1839)

TOUR STARTS
HERE



PART III

William Street

TOUR MAP

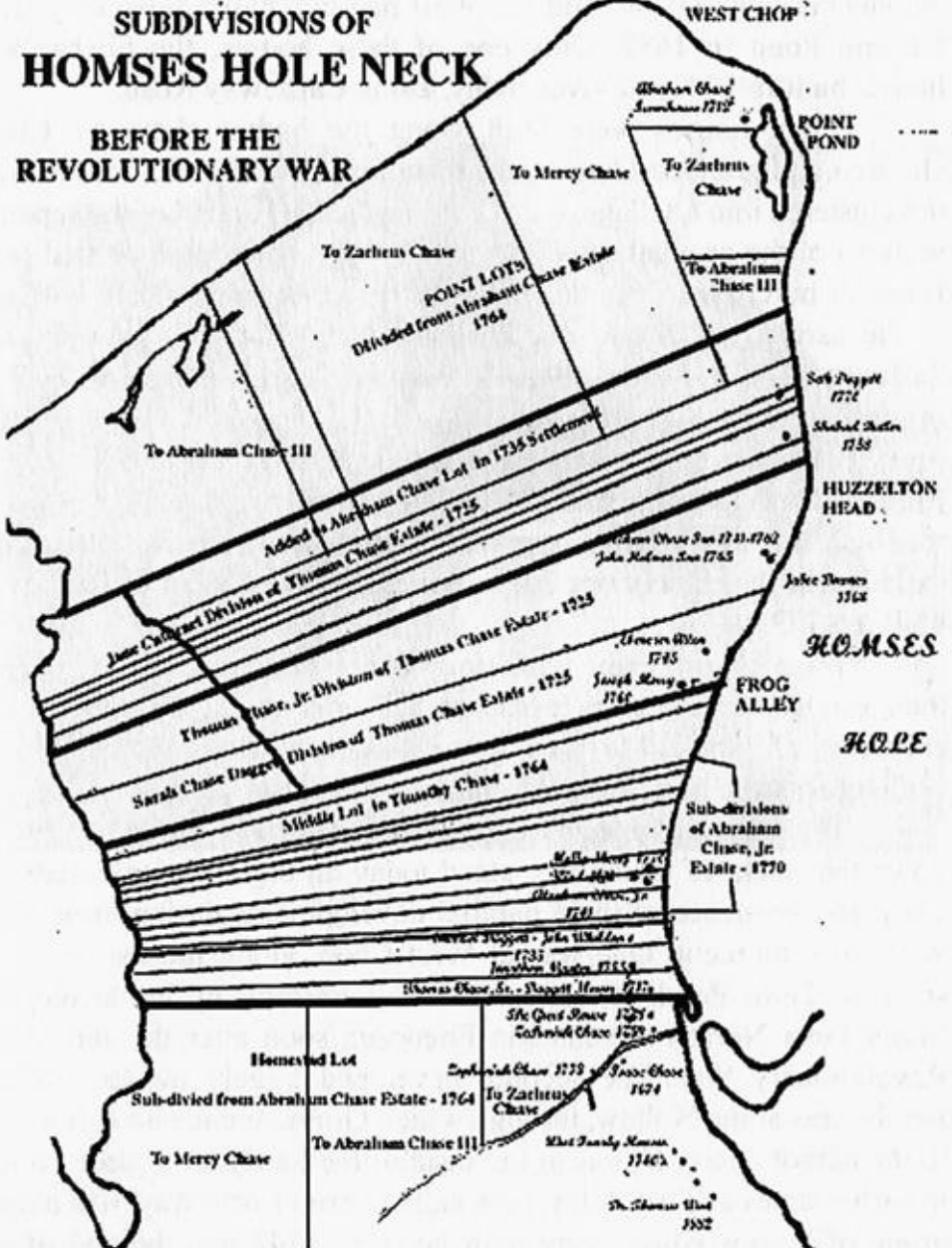
46. Berkshire House (1836)
47. Charles Downs House (1836)
48. Henry Manter House (1846)
49. Jonathan Manter, Jr., Lot
50. Freeman Daggett House (1841)
51. Richard Hursell House (1850)
52. Benjamin Cromwell House (1873)
53. Leander Daggett House (1840)
54. John F. Robinson House (1855)
55. Calvin Tilton House (1855)
56. George G. Harding House (1881)
57. Augustus Robinson House (1879)
58. Grace Episcopal Church (1883)
moved to this site 1896
59. John Crowell's Shop (1884)

Pre-

Revolutionary War Holmes Hole

Images From Jim Norton

“Walking Vineyard Haven”



Author's Worksheet of 18th Century East-West Sub-divisions among the Chase Family Holdings of the Mayhew Shares on Homses Hole Neck

1790

Holmes Hole

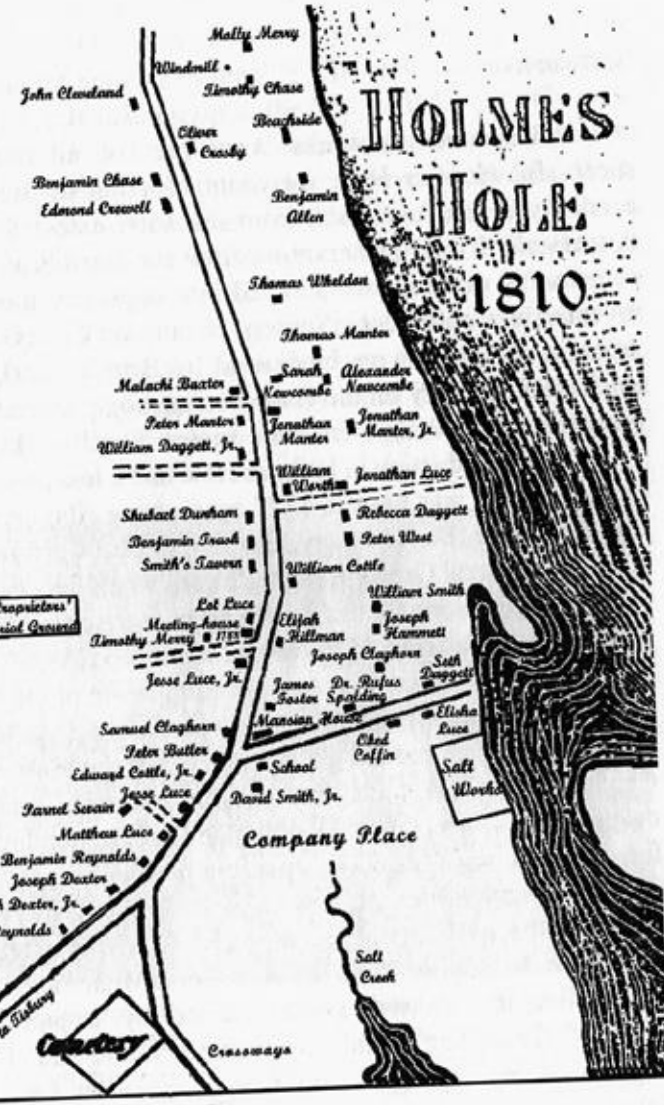
1810

Walking in Vineyard Haven

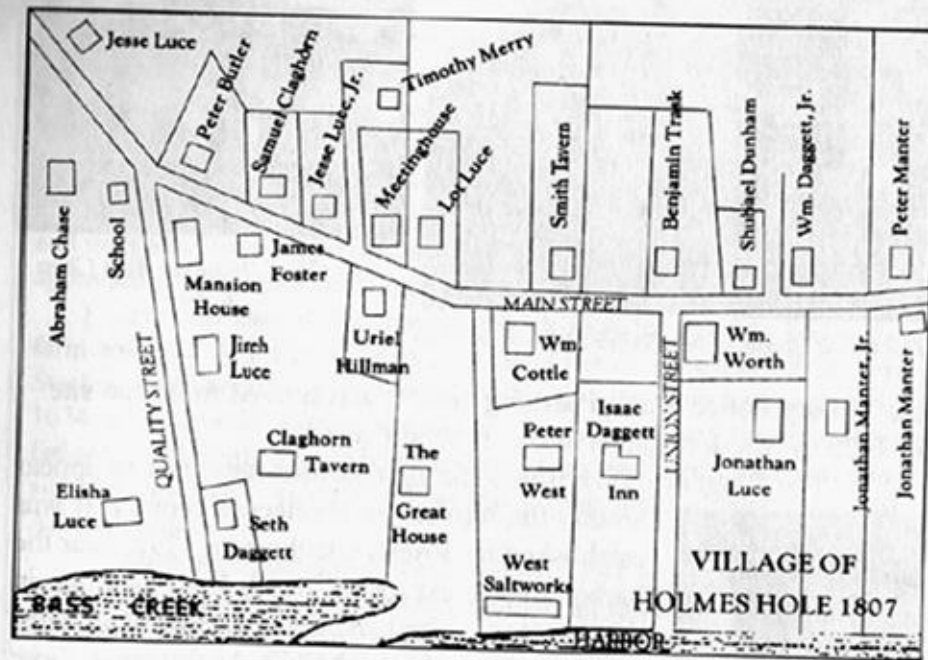
Walking in Vineyard Haven

Images From Jim Norton

“Walking Vineyard Haven”



1807



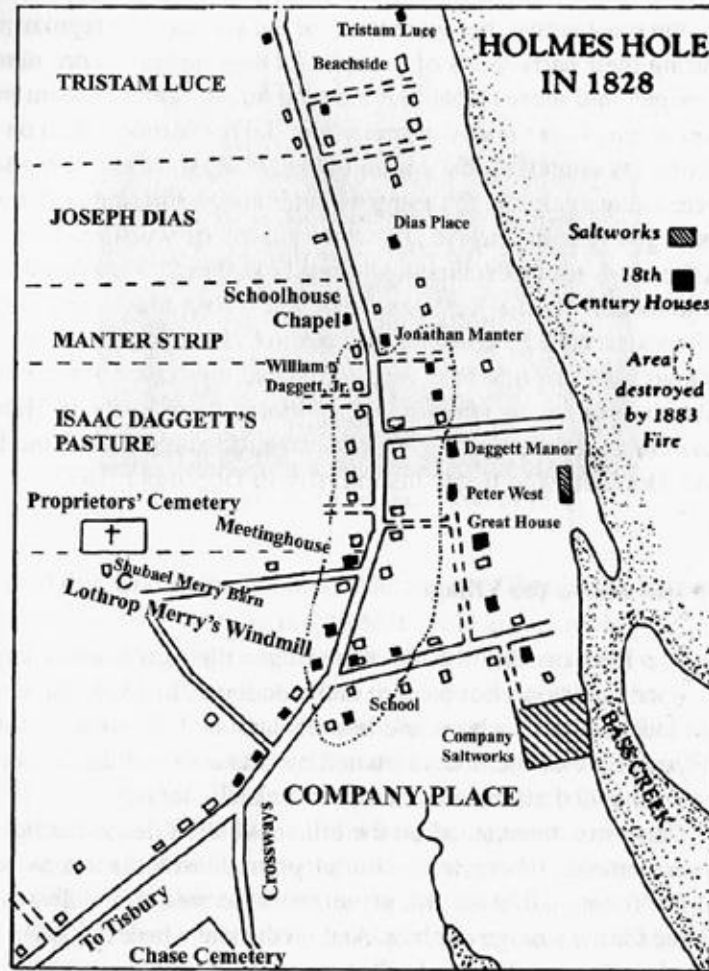
Images From Jim Norton
"Walking Vineyard Haven"

The Mansion House

More sedate was a new inn started by Dr. Rufus Spalding in 1800 at the Great Gate, where the newly established Main Street branched off toward West Chop from Beach Road. Dr. Spalding was born and received his medical training in Connecticut. He came to the Island in 1783, and set up a successful practice in West Tisbury. Fifteen years later, he was lured by the new economic and social growth of Holmes Hole to move his practice and become an inn keeper there. His new inn appears to have been two houses put together, one of which Dr. Spalding bought from Shubael Cottle of Lamberts Cove in 1796, and brought into town four years later.

An English traveler, James Hosking, sailed across the Atlantic Ocean during a stormy winter in 1811, bound for New York City on a ship under the command of Joseph Dexter, Jr., of Holmes Hole. He gave this account of a brief lay-over (in the Captain's home town) caused by the roughness of the sea:

1828



Images From Jim Norton
"Walking Vineyard Haven"

In 1803, Isaac Daggett expanded Abigail's solitary grave site into a sizable graveyard, which he sold to twenty-two landowners then residing in the village. This sale took place just six months after the Chase family had donated their family burial ground to the Town for public use. None of the twenty-two proprietors who bought into Isaac Daggett's cemetery had the name of Chase.

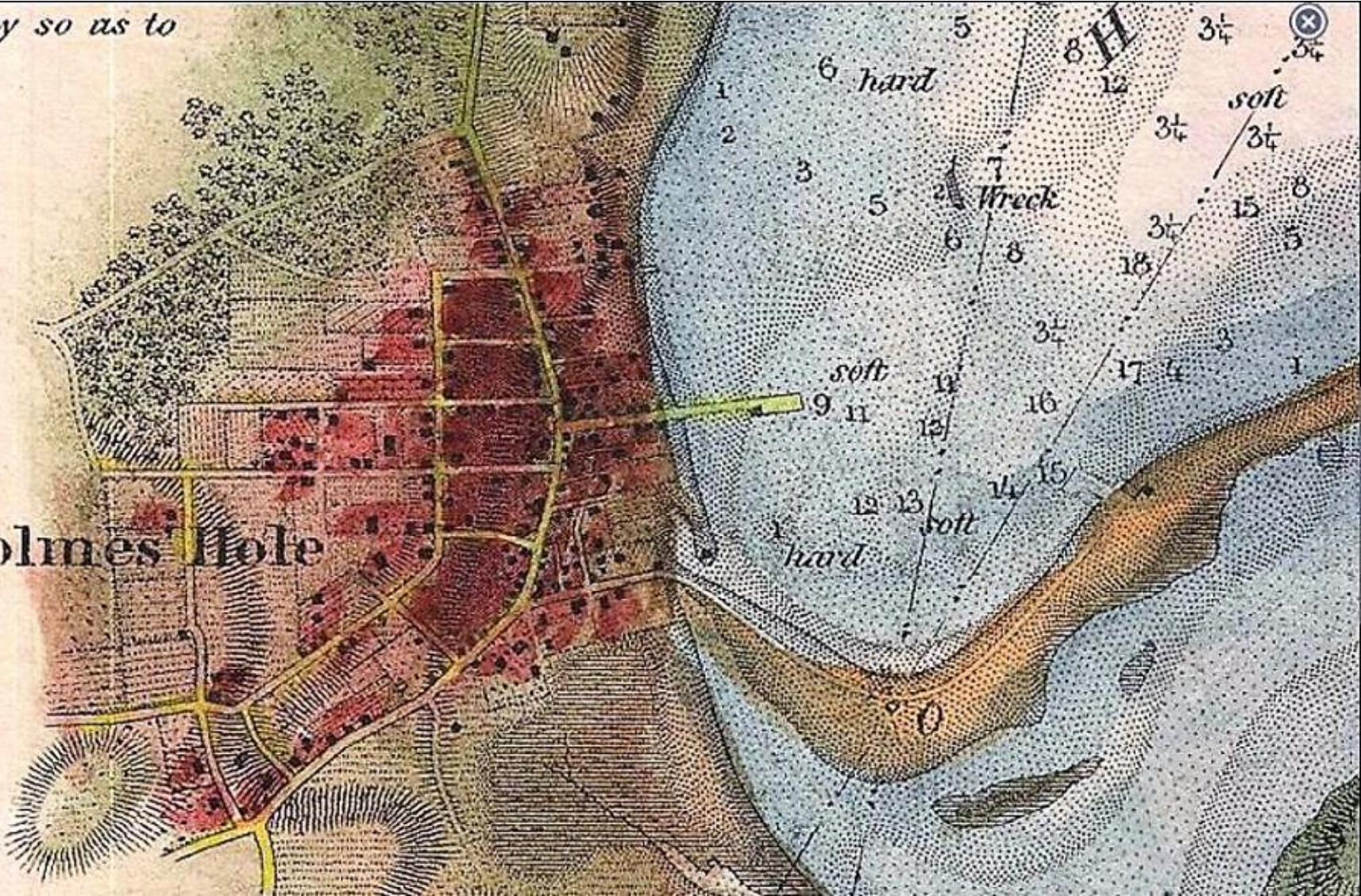
The Daggett cemetery was later expanded to its present size by additions to the north and the south during the mid nineteenth century, and remains today a private cemetery maintained by the Town. Many

1848 U.S. Chart Map

the survey so as to

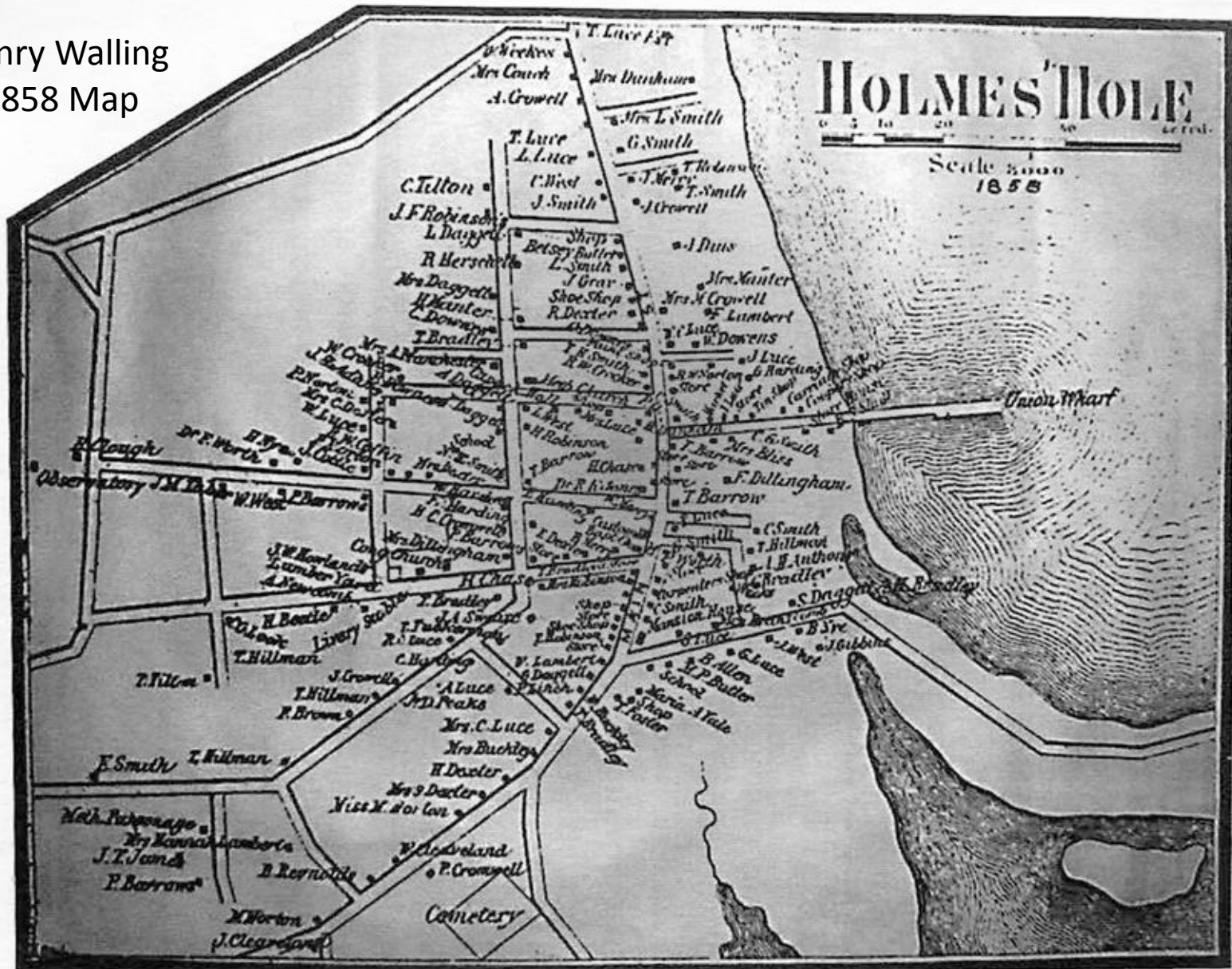
to enter

Holmes Hole



Images From Jim Norton
"Walking Vineyard Haven"

Henry Walling
1858 Map



Detail of the County of Dukes County map by Henry Walling showing the village of Holmes' Hole in 1858. Images From Jim Norton "Walking Vineyard Haven"

1890

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• REFERENCES.

- | | |
|------------------------------|-------------------------------|
| A. Dr. Wm. Leach, Residence. | L. Windmill. |
| B. Capt. Brj. C. Cronwell. | M. Capt. P. L. Smith, Res. |
| C. Capt. Church. | N. Crocker's Alarm Pac. |
| D. Beach Site. | O. Academy. |
| E. Lanes Block. | P. Cap. Owen, Res. |
| F. Leaches. | Q. Sailors Free Reading Room. |
| G. Methodist Church. | R. Edinleys Wharf. |
| H. Baptist. | S. F. E. Leach's Paint Store. |
| I. Episcopal. | T. Crocker Summer Villa. |
| J. Mission House. | V. U. S. Marine Hospital. |
| | W. Alton's Cottage. |

VINEYARD HAVEN.

MARTHAS VINEYARD, DUKES COUNTY, MASSACHUSETTS.

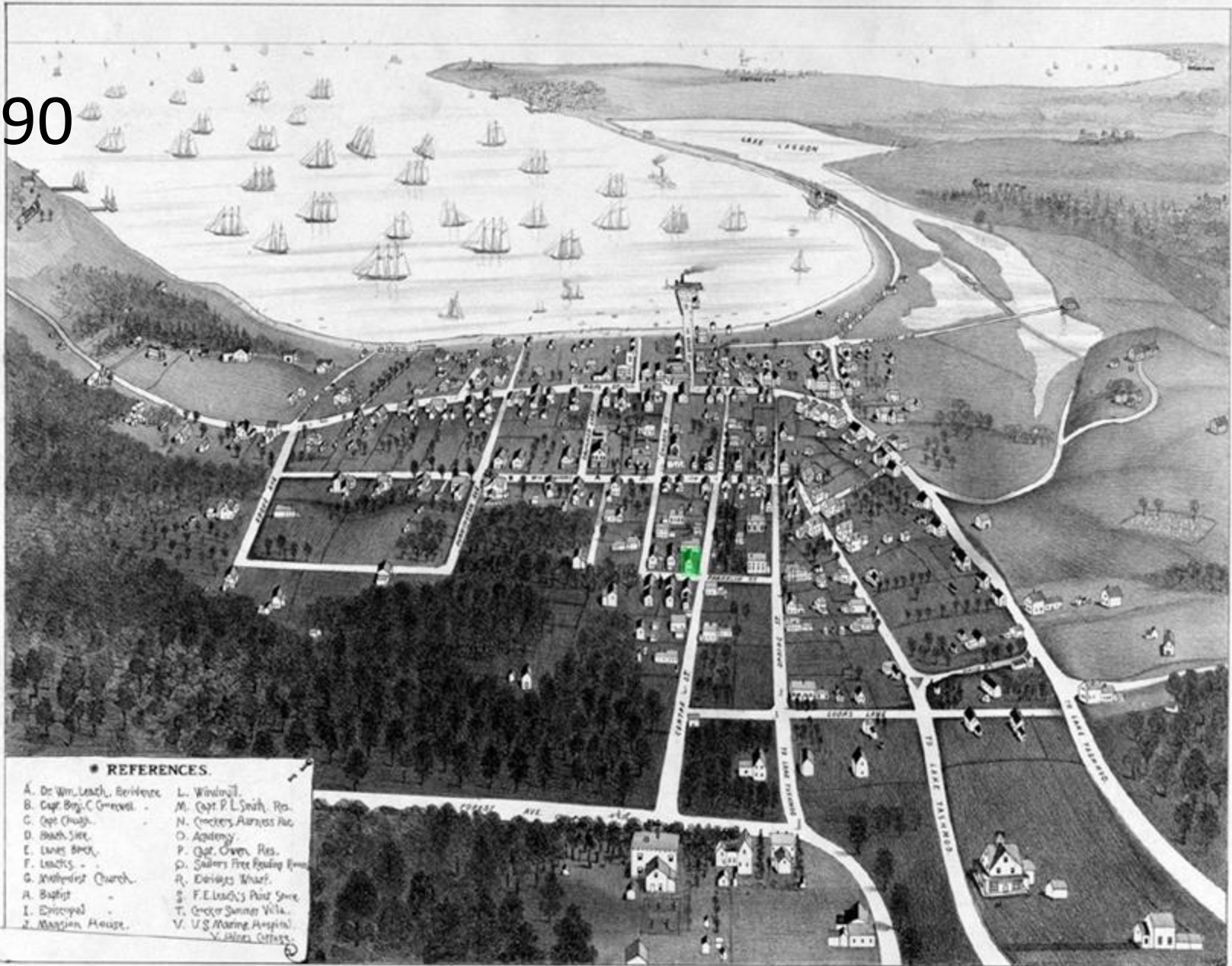
The Popular Seaside Summer Resort.

REV. H. WALKER & CO. LITH. BOSTON

Images From Jim Norton
"Walking Vineyard Haven"

1890

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VINEYARD HAVEN.

DUKES COUNTY, MASSACHUSETTS.

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