

# Island Food Pantry

114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557

sullivan + associates  
ARCHITECTS

508 693 0500  
sullivanassociatesarchitects.com

**BUILDING CODE INFORMATION :**

BUILDING CODE:  
MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION

ENERGY CODE:  
2021 IECC (ADOPTED BY MASSACHUSETTS JANUARY 1, 2023)

**CODE COMPLIANCE : OAK BLUFFS**

ISLAND GROWN INITIATIVE  
114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557  
MAP-PARCEL: 17-22-0  
DISTRICT = B-1

	REQUIRED	ACTUAL
MINIMUM LOT SIZE	NOT STATED	N/A
FRONT SETBACK	5'-0"	28'-6"
SIDEYARD SETBACK	NOT STATED	N/A
REAR YARD SETBACK	NOT STATED	N/A
ROOF HEIGHT	35'-0"	21'-6"
	NOT STATED	N/A

NOTES:

**SHEET INDEX**

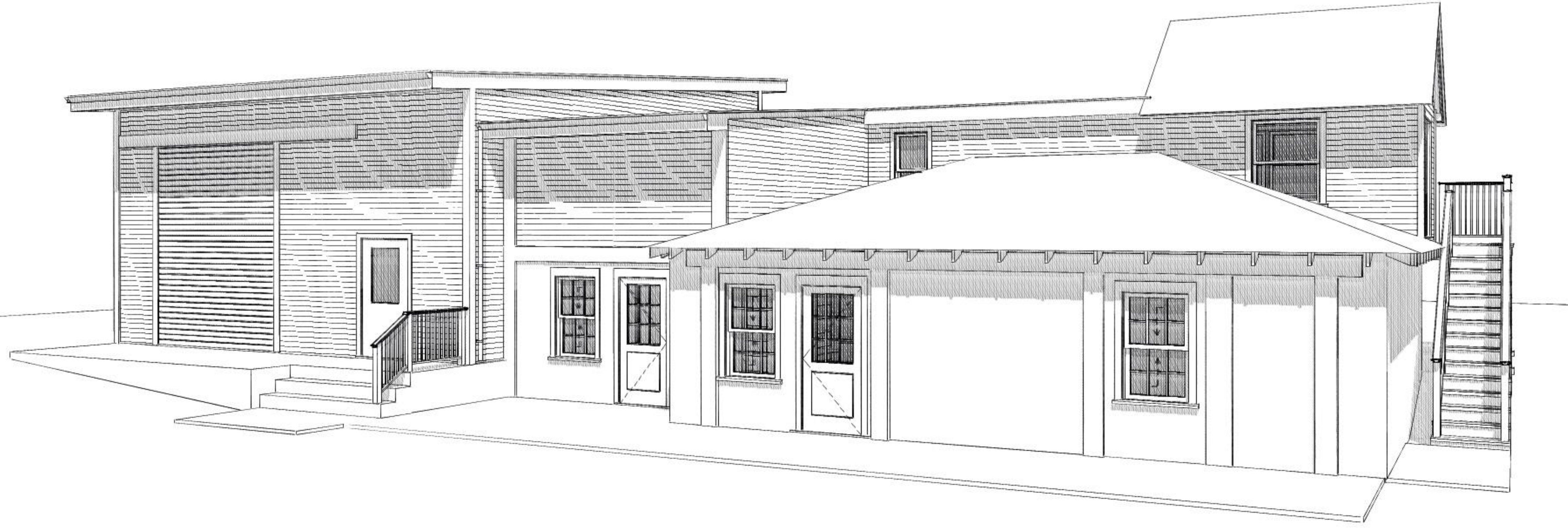
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**MERCANTILE SQFT. EX.**

ID	STORY	NAME	AREA (SQFT)
Existing	1	First Floor	2,168
Existing	2	Second Floor	695
			<b>2,863 ft<sup>2</sup></b>

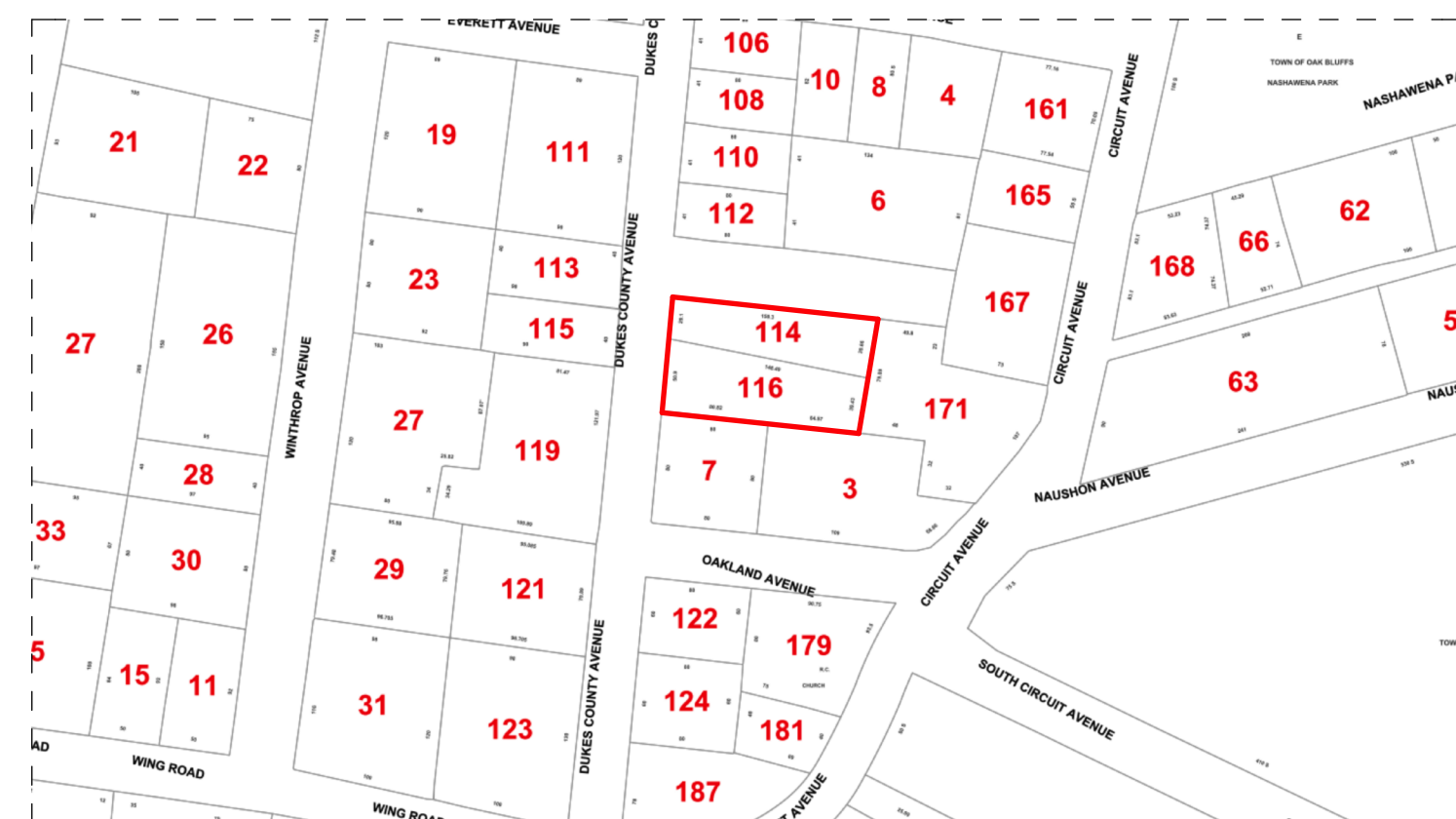
**MERCANTILE SQFT. PROP.**

ID	STORY	NAME	AREA (SQFT)
Existing	1	First Floor	2,168
Existing	2	Second Floor	695
			<b>2,863 ft<sup>2</sup></b>



## ISSUED FOR CONSTRUCTION

2023-07-07



ARCHITECTS  
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12 COURNOYER ROAD, P.O. BOX 421  
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(508) 693-3774

CONTRACTOR  
ESTEBAN ARANZABE  
PATAGONIA RESTORATIONS  
(774) 521-9445



GLOSSARY			
@ - AT	EST - ESTIMATE	MAS - MASONRY	S - SOUTH
CL - CENTERLINE	EXIST - EXISTING	MAX - MAXIMUM	SAF - SELF-ADHERED FLASHING
PL - PROPERTY LINE	EXPO - EXPOSED / EXPOSURE	M.B. - MACHINE BOLT	S.A.M. SELF ADHERED MEMBRANE
Ø - DIAMETER	EXT - EXTERIOR	M.C. - MEDICINE CABINET	S.C. - SOLID CORE
# - POUND OR NUMBER	FD - FLOOR DRAIN	MDR - MEDIUM DENSITY FIBERBOARD	SD - SMOKE DETECTOR
(E) - EXISTING	FE - FIRE EXTINGUISHER	MDO - MEDIUM DENSITY OVERLAY	SCHED - SCHEDULE
(N) - NEW	FF - FIRST FLOOR	MECH - MECHANICAL	SECT - SECTION
ABV - ABOVE	FF - FINISH FLOOR TO FINISH FLOOR	MLAM - MICROLAM	SG - SAFETY GLASS
ACC - ACCESS	FIN - FINISH	MEMB - MEMBRANE	SH - SHELF
ACOUS - ACOUSTICAL	FDN - FOUNDATION	MTL - METAL	SIP - STRUCTURAL INSULATED PANEL
A.D. - AREA DRAIN	FLASH - FLASHING	MFR - MANUFACTURER	SHR - SHOWER
ADJ - ADJUSTABLE	FL FLOOR / FLOORING	MIN - MINIMUM	SHT - SHEET
A.F.F. - ABOVE FINISHED FLOOR	FLUOR - FLUORESCENT	MSC - MISCELLANEOUS	SHT.MTL. - SHEET METAL
A.B. - AIR INFILTRATION BARRIER	FO - FACE OF	MTD - MOUNTED	SHTG - SHEATHING
ATL - ALTERNATING	FOC - FACE OF CONCRETE	MAT - MATERIAL	SM - SIMLAR
APPROX - APPROXIMATE	FOIC - FURNISHED BY OWNER - INSTALLED BY CONTRACTOR	MUL - MULLION	N - NORTH
ARCH - ARCHITECT	FOM - FACE OF MASONRY	N/A - NOT APPLICABLE	NO - NUMBER
BD - BOARD	FOS - FACE OF STUDS	NLC - NOT IN CONTRACT	S.O.G. - SLAB ON GRADE
BLDG - BUILDING	FOF - FACE OF FINISH	NO - NUMBER	SPEC - SPECIFICATION
BLKG - BLOCKING	FOS. - FACE OF STUDS	NAT - NATURAL	SF - SECOND FLOOR
BM - BEAM	FR - FRAME	OA - OVERALL	SIF - SUBFLOOR
B.O. - BOTTOM OF	FRFP - FIREPROOF	O/C - ON CENTER	SQIN - SQUARE INCHES
B - BOTTOM	FRPL - FIREPLACE	ODIA - OUTSIDE DIAMETER	SS - STAINLESS STEEL
BIW - BOTH WAYS	FTG - FOOTING	ODD - OVERFLOW DRAIN	STA - STATION
BP - BASE PLATE	FT - FOOT OR FEET	OFF - OFFICE	STD - STANDARD
CAB - CABINET	FURR - FURRING	OH - OVERHEAD	STL - STEEL
C.B. CATCH BASIN	FUT - FUTURE	OPNG - OPENING	STOR - STORAGE
CEM - CEMENT	FW - FULL WIDTH	OPP - OPPOSITE	STAGG - STANGGERED
CER - CERAMIC	FG - FINISH GRADE	OP.HD. - OPPOSITE HAND	STR - STRUCTURAL
C.I.P. - CAST IN PLACE	FND - FOUNDATION	PERF - PERFORATED	SUSP - SUSPENDED
C.J. - CONTROL JOINT	GA - GAUGE	PERP - PERPENDICULAR	SYM - SYMMETRICAL
CLG - CEILING	GALV - GALVANIZED	PL - PLATE	T - TREAD
CLKG - CALLING	G.C. - GENERAL CONTRACTOR	PLAM - PLASTIC LAMINATE	TR - TOWEL BAR
CL - CENTER LINE	GL - GLASS	PLAS - PLASTER	T.C. - TOP OF CURB
CLO - CLOSET	GLAM - GLUE LAMINATED	PWD - PLYWOOD	TEL - TELEPHONE
CLR - CLEAR	GR - GRADE	PNL - PANEL	TER - TERRAZZO
CMU - CONCRETE MASONRY UNIT	GWB - GYPSUM WALL BOARD	PR - PAIR	T & G - TONGUE AND GROOVE
CONTR. COUNTER	H.B. - HORSE BIB	PRCST - PRE-CAST	T.G. - TEMPERED GLASS
COL - COLUMN	H.C. - HOLLOW CORE	PT - POINT	THK - THINK
CONC. - CONCRETE	H.D.O. - HIGH DENSITY OVERLAY	PTD - PAINTED	TO - TOP OF
CONN - CONNECTION	HDR - HEADER	PTN - PARTITION	TOS - TOP OF SLAB / TOP OF STEEL
CONT - CONTINUOUS	HEWD - HARDWOOD	PLY - PLYWOOD	TOW - TOP OF WALL
CORR - CORRIDOR	HEWE - HARDWARE	PSF - POUND PER SQUARE FOOT	TPH - TOILET PAPER HOLDER
CT CERAMIC TILE	HEM - HEMLOCK	PSI - POUND PER SQUARE INCH	TJ - TOP
CPT - CARPET / CARPETED	HM - HOLLOW METAL		T/B - TOP AND BOTTOM
CTR - CENTER	HORIZ - HORIZONTAL		TBD - TO BE DETERMINED
DBL - DOUBLE	HP - HIGH POINT		TBR - TO BE REMOVED
DEMO - DEMOLITION	HR - HOUR		TJ - ENGINEER JOIST
DTL - DETAIL	HT - HEIGHT		TP - TOP PLATE
DEV - DEVELOPMENT	HVAC - HEATING / VENTILATING / AIR CONDITIONING		TYP - TYPICAL
DIA - Ø - DIAMETER	HW - HOT WATER		UNO - UNLESS OTHERWISE NOTED
DM - DIMENSION	LD - INSIDE DIAMETER		VCT - VONYL COMPOSITION TILE
DIR - DIRECTION	IN - INCH		VEN - VENER
DN - DOWN	INSUL - INSULATION		VERT - VERTICAL
D.O. - DOOR OPENING	INT - INTERIOR		VEST - VESTIBULE
DR - DISHWASHER	J.B. - JUNCTION BOX		VF - VERIFY IN FIELD
DWG - DRAWING	JF - JOINT FILLER		W - WITH
E - EAST	JT - JOINT		W - WEST
EA - EACH	LSL - LAMINATED STRAND LUMBER		WRC - WESTERN RED CEDAR
EA/W - EACH WAY	LVL - LAMINATED VENEER LUMBER		WC - WATER CLOSET
ECT - ETCETERA	LAM - LAMINATE / LAMINATED		WD - WOOD
ELEV - ELEVATION	LAV - LAVATORY		WF - WIDE FLANGE
ELEC. ELECTRICAL	LF - LINEAL FEET		WH - WATER HEATER
EMBED - EMBEDDED	LOC - LOCATION		WO - WITHOUT
ENCL - ENCLOSURE	LP - LOW POINT		WN - WINDOW
ENG - ENGINEER	LT - LIGHT		WP - WATERPROOF
EQ - EQUALLY			WR - WATER RESISTANT
EQUIP - EQUIPMENT			WT - WEIGHT
			Z.C.C. - ZINC COATED COPPER

GENERAL NOTES	
1.	CODES: ALL WORK SHALL CONFORM TO THE CURRENT MASSACHUSETTS STATE BUILDING CODES LISTED IN BUILDING CODE INFORMATION TABLE ON TITLE PAGE.
2.	DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICT EXISTS.
3.	ALL FRAMING SHALL BE LEVEL, PLUMB, AND TRUE TO LINES SHOWN.
4.	CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
5.	VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT BLOCKING, BAKING, AND JACKS REQUIRED FOR INSTALLATION.
6.	VERIFY LOCATION OF ALL EXISTING UTILITIES AND SLEEVING. CAP, MARK, AND PROTECT AS NECESSARY TO COMPLETE THE WORK. PROVIDE AS-BUILT PLAN OF ALL UTILITY LOCATIONS.
7.	NOTIFY OWNER 10 DAYS IN ADVANCE OF DEMOLITION.
8.	SET ALL TILES WITH JOINTS AS DIRECTED BY OWNER OR ARCHITECT. ALL TILES SHALL BE ACCURATELY ALIGNED AND TRUE TO PLANE.
9.	ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
10.	ALL PLUMBING AND VENTING SHALL BE ACCORDING TO LOCAL CODES.
11.	SERVICE WATER PIPES IN UNHEATED SPACES TO BE INSULATED.
12.	INSULATION IS TO BE PROVIDED AT ALL BATHROOMS AND AHU CLOSETS.
13.	PROVIDE FIREBLOCKING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
14.	PROVIDE DRAFTSTOPPING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
15.	MOUNT ALL DOOR HARDWARE HANDSETS AT 36" TO CENTERLINE UNLESS OTHERWISE NOTED. VERIFY W/ ARCHITECT.
16.	USE PVC WASTE LINES FOR ALL PLUMBING IN CEILINGS AND WALLS.
17.	ALL INSULATION MATERIALS SHALL HAVE FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE-DEVELOPED RATING NOT TO EXCEED 450, PER MASSACHUSETTS STATE BUILDING CODE.
18.	CLEAR DEBRIS FROM ALL VENTILATION DRILL HOLES AND NOTCHES.
19.	ALL ELECTRICAL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AS WELL AS THE NATIONAL ELECTRIC CODE, MOST RECENT ADDITION.
20.	THE CONTRACTOR IS REQUIRED TO COORDINATE BETWEEN THE TRADES THE SEQUENCE OF THE CONSTRUCTION AND THE REQUIRED REVIEW AND APPROVALS FOR THE HOUSE TO BE CERTIFIED AS ENERGY STAR COMPLIANT.

MATERIAL LEGEND		
	GRADE	
	GRAVEL	
	FOUNDATION WALLS PROPOSED	
	FOUNDATION WALLS EXISTING	
	CMU BLOCK	
	BRICK	
	STONE	
	STEEL	
	BLOCKING	
	STRUCTURAL FRAMING MEMBER	
	LVL	
	PLYWOOD SHEATHING/ SUB-FLOOR	
	GYPSUM BOARD	
	RIGID INSULATION	
	SPRAY FOAM INSULATION	
	BATT INSULATION	
	DECK BOARD	
	WOOD TRIM	
	WOOD FLOORING	
	CEDAR SHINGLES	
	BRICK RUNNING BOND	
	PROPOSED WALLS	
	EXISTING WALLS	

SYMBOL LEGEND			
	NORTH ARROW		SECTION MARKER
	FLOOR PLAN ELEVATION		ELEVATION MARKER
	SECTION BREAK LINE		INTERIOR ELEVATION
	DOOR MARKER		SQUARE FOOTAGE AREA LEGEND
	WINDOW MARKER		DETAIL MARKER
	REVISION INDICATOR		REVISION LABEL
	SLOPE / PITCH SYMBOL		

WINDOW SCHEDULE - FOR PRICING ONLY								
MARK	QUANT.	TYPE	MANUF.	MODEL#	LITES	FRAME SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
A	3	DOUBLE-HUNG	ANDERSEN	ADH 2848	2	2'-8"	4'-6"	
B	1	FIXED	ANDERSEN		1	5'-10"	2'-10"	
C	1	FIXED	ANDERSEN		1	2'-8"	4'-6"	

DOOR SCHEDULE - FOR PRICING ONLY								
MARK	QUANT.	TYPE	MANUF.	MODEL#	LITES	UNIT SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
01	2	01			2	3'-0"	6'-8"	HANDICAPPED ACCESSIBLE
02	2	WALK-IN REF/FR. DOORS			0	3'-0"	6'-8"	

SKYLIGHT SCHEDULE						
MARK	QUANT.	TYPE	MANUF.	WIDTH	HEIGHT	NOTES

**NOTES:**  
 Windows and Doors to be insulated Low-E argon-filled double-pane glass to meet or exceed energy performance U-Factor of 0.32. Window Manufacturer/Contractor to obtain sign-off from Architect on which units require tempered glass before placing order. ~~Windows and Doors glazing are required to meet Wind Borne Debris Region requirements for Large Missile Test of ASTM E 1996 and of ASTM E 1886. Garage door glazed opening protection for windborne debris shall meet the requirements of an approved impact resisting standard of ANSI/DASMA 115.~~ Wood structural panels constructed to meet code, shall be provided for all exterior glazed openings, and any existing openings as indicated on architectural plans (See detail W-02)  
 Windows and Doors to meet required Design Pressures ratings for *Wind Speed, Exposure Zone, and Roof Height* listed on these drawings. Contractor to submit Manufacturer's Design Pressures ratings for sign-off approval on all windows and doors before placing order. Contractor to verify quantities before placing order. Contractor to obtain rough openings from manufacturer for framing.



SET:	DATE:
SET #1	07/07/23



**CODE REVIEW**

**ISLAND FOOD PANTRY – 114-116 DUKES COUNTY AVENUE, OAK BLUFFS, MA.**

**APPLICABLE CODES AND REGULATIONS**

Massachusetts State Building Code, 780 CMR, 9<sup>th</sup> Edition.  
 Massachusetts State Fuel Gas and Plumbing Code, 248 CMR  
 Massachusetts Fire Prevention Regulations, 527 CMR  
 Massachusetts Architectural Access Board, 521 CMR,  
 Americans Disabilities Act, 28CFR Part 36, 9/1/94 Edition.  
 Town of Oak Bluffs Zoning Bylaws. Adopted 2/2018.

**Reference Abbreviation**

(780: – Sect. Or Table)  
 (MPC)  
 (MFR)  
 (MAAB)  
 (ADA)  
 (OBZB)

**General Notes:**

This summary review provides supporting details and analysis about various code compliance issues relevant to 114 Dukes County Avenue, Oak Bluffs, MA. This review is organized with descriptions and analysis of code issues followed by the supporting code references. Paraphrased excerpts from the Codes and Regulations are referenced, verbatim quotations are italicized.

**EXISTING CONDITIONS:**

The parcel is comprised of two lots, 114 and 116 Dukes County Avenue, both located in the B-1 Zoning District. The lot at 114 contains 5,129 Square Feet (SF) (Assessor) of land, and has an existing building comprised of +/- 2200 SF (Assessor) of finished first floor space and +/- 308 SF (Assessor) of unfinished second floor space. The second floor is accessed by an exterior wood stair. The lot at 116 contains 6,592 SF (Assessor) of land, with an existing building of 558 SF (Assessor) that contains a one-bedroom residential unit. The residential unit is attached to the building at 114 but has a dedicated exterior entrance and is otherwise not a part of the building at 114.

The building at 114 is comprised of multiple abutting structures and has a 1955 construction date (Assessor). There is a combination of wood and masonry exterior walls with wood roof framing and most closely resembles Type 5B construction.

Existing Building Description: 1.75 Stories with No Basement.  
 Use: Mixed – Mercantile and Residential  
 Use Groups – M - Mercantile and R-3 - Residential  
 Approx. Gross Square Footage / Footprint – 2,700  
 Total Usable Square Footage – 2,200  
 Construction Classification – Type 5B  
 Sprinkler System 114 – No (Mercantile Unit)  
 Sprinkler System 116 – Yes (R-3 Existing)  
 Historic District – No

**SCOPE OF WORK:**

This project involves alterations to the existing building for use as The Island Food Pantry. The pantry will occupy 114 Dukes County Avenue and use the land at both 114 and 116 for deliveries and parking. There is no proposed increase to the footprint or volume of the existing building. The proposed work includes interior construction of an accessible restroom, office, counter with hand sink, leveling of recessed floor, warehouse ramp, and demising of the residential unit per the plans. The existing MEP systems will be altered or upgraded to accommodate the revised interior layout. Alterations include egress and life safety devices as shown on the plans. This is a Level 2 alteration, and the Work Area is delineated on the plans.

Proposed Building Description: 1.75 Stories with No Basement (No Footprint Change)  
 Use: Mixed – Mercantile and Residential (No Change)  
 Use Group – M - Mercantile and R-3 - Residential  
 Construction Classification – Type 5B  
 Sprinkler System 114 – No (Mercantile Unit)  
 Sprinkler System 116 – Yes (R-3 Residential Unit)  
 Approx. Gross Square Footage / Footprint – 2,700  
 Total Approx. Gross Square Footage – 5,200  
 Number of Egress Doors – 1 or 2 for M Use depending on the occupancy load,  
 1 for R-3 Use

**IBC 2015 - CHAPTER 3 – USE AND OCCUPANCY: MIXED USE – M and R-3:**

The Island Food Pantry will occupy the entire Mercantile portion of the building as a single user. There are no proposed additions planned for the building. The Assessor lists the current building use as Retail or Use Group M - Mercantile in IBC 2015 – 309.1. The Island Food Pantry is also Use Group M - Mercantile listed under typical mercantile uses as a 'Market' in 309.1.

The residential unit at 116 will also not be altered and will remain a residential use under IBC 2015 – 310.5 – R-3 (Buildings that do not contain more than two dwelling units).

Since there is no proposed Change of Occupancy to either 114 or 116 under IBC 2015 – Chapter 10, there is no required Hazard Category evaluation, and the proposed uses are compliant.

**OBZB - PARKING COMPLIANCE:**

Under 5.1.3 of the Zoning Bylaws, retail sales and service establishments require one parking space per 100 SF for the first 500 SF and one space per additional 200 SF of space. Based on this formula, the Island Food Pantry requires 14 parking spaces determined as follows: 2,200 GSF – 5 spaces for first 500 SF + 9 spaces for the next 1,700 SF. All parking spaces are required to be 9 feet by 18 feet (5.1.1).

A preliminary layout of the parking shows that 18 spaces can be accommodated on the site, so allowing for one residential parking space, there is compliant parking for the Island Food Pantry. The parking layout includes one handicapped spot with related van accessible loading area.

**IBC 2015 - OCCUPANCY LOAD (Table 1004.1.2):**

114 First Floor – Mercantile: +/- 1,200 S.F. @ 60 S.F. per Occupant	=	20
114 First Floor – Office: +/- 96 S.F. @ 100 S.F. per Occupant	=	1
114 First Floor – Warehouse: +/- 900 S.F. @ 500 S.F. per Occupant	=	2
114 Second Floor – Storage: +/- 300 S.F. @ 300 S.F. / Occupant	=	1
116 One Residential Unit: +/- 600 S.F. @ 200 S.F. per Occupant.	=	3
<b>TOTAL OCCUPANCY LOAD</b>	<b>=</b>	<b>27</b>

**IBC 2015 - CHAPTER 4 – SPECIAL REQUIREMENTS:**

420.2 – Dwelling separation walls in Type 5B construction shall be fire partitions per 708.3 which requires ½ hr. rating in buildings with sprinkler system compliant with 903.3.1.1. 5/8" type X G.W.B. will be added to both side of the existing demising wall between the uses.

**IBC 2015 - CHAPTER 5 – GENERAL BUILDING HEIGHTS AND AREAS:**

The existing building complies with Tables 504.3 – 504.4 - 506.2 – 508.4.

**IBC 2025 - CHAPTER 6 – TYPES OF CONSTRUCTION:**

Table 601 - FIRE RESISTANCE RATINGS OF BUILDING ELEMENTS (TYPE 5B):

Primary Structural Frame	0
Bearing Walls Exterior	0
Bearing Walls Interior	0
Exterior Non-Bearing Walls	0
Interior Non-Bearing Walls	0
Floor Construction Including Beams	0
Roof Construction Including Beams, Trusses, Framing, Arches	0

**IBC 2015 - CHAPTER 7 – FIRE AND SMOKE PROTECTION FEATURES:**

708.3	Dwelling units require ½ hour fire separation with sprinkler system.
708.4	Fire separation must extend from top of floor to bottom of rated ceiling above.

**IBC 2015 - CHAPTER 7 – FIRE AND SMOKE PROTECTION FEATURES (CONT'D):**

714.3	All penetrations in fire rated walls require fire stopping.
718.2	Fire blocking shall be installed to contain any concealed spaces.

**IBC 2015 - CHAPTER 8 – INTERIOR FINISHES:**

803.11	Interior finishes in exit ways shall meet Class B flame resistance.
803.11	Interior finishes shall meet Class C flame resistance.
804	All floor finishes shall meet Class II NFPA 253 requirements.

**IBC 2015 - CHAPTER 9 – FIRE PROTECTION SYSTEMS:**

903.2.3	Automatic sprinklers required in R Use.
906.1	Portable fire extinguishers in all M and R uses per Table 906.3(1).
915.1.1	Carbon monoxide detectors are required in common areas.

**IBC 2015 - CHAPTER 10 – MEANS OF EGRESS:**

1003.5	Ramps exceeding 1:20 shall have max. slope of 1:12 with accessible handrails. Proposed ramp is not means of egress.
1006.2.1	Spaces with fewer than 49 occupants + under 75 ft. of travel can have one exit.
1008.3.2	Battery back-up operated emergency lighting required throughout.
1009.1	Accessible means of egress is not required on upper floor.

**IBC 2015 - CHAPTER 10 – MEANS OF EGRESS (CONT'D):**

1010.1.6	Egress doors require landing the depth of the door on both sides.
1010.1.7	Thresholds shall not exceed ½ inch at every door.
1011.2	Stairs required to be a minimum of 44 inches wide. 36" wide under 50 occupants.
1011.3	Minimum stair headroom 6'-8" at stair nosing's.
1011.5.2	New stairs req. to have 7 inch maximum stair riser / 11 inch minimum stair tread.
1011.5.4	Maximum tolerance in tread heights limited to 3/8" inch on any flight.
1011.6	Stair landings the width of the stair are required at top and bottom of each flight.
1011.7.3	Area under egress stairs to have 2 hour rated stair protection.
1011.12.2	Stair to roof access hatch required to be 16 S.F. gross, minimum dimension 2 ft.
1012.2	Maximum slope of means of egress ramp is 1:12. Others can be 1:8.
1012.3	Maximum cross slope of ramp is 1:48.
1012.6	Landings the width of the ramp required at top and bottom of slope.
1012.8	Ramps with rise greater than 6 inches require compliant handrails on both sides.
1013.1.1	Exit signs not required in rooms under 50 occupants with single egress.
1014.2	Stair handrails between 34" and 38" in height measured at the stair nosing.
1014.3.1	Stair handrails shall be between 1-1/4 inches and 2 inches in diameter.

**IBC 2015 - CHAPTER 11 – ACCESSIBILITY:**

Use 521 CMR for accessible routes and fixture requirements for restroom.

**IBC 2015 - CHAPTER 13 – ENERGY EFFICIENCY:**

C402.1.3 IEC – Provide R20 walls and R49 roof.

**248 CMR – PLUMBING CODE**

Mercantile Use Plumbing Fixture Requirements:

1 Toilet / 20 Female + 1 Toilet / 20 Male + 1 Lav. / 60. One handicapped accessible restroom meets the requirement for an Occupancy Load of 20.

**521 CMR - ARCHITECTURAL ACCESS BOARD**

17.4	Counters and bars must have accessible sections at 34" above finish floor.
30.1	Accessible toilet room must be on accessible route.
30.1.1	Unisex toilet rooms are permitted.



SET:	DATE:
SET #1	07/07/23

PROJECT NAME: Island Food Pantry	ADDRESS: 114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557	SHEET TITLE: CODE REVIEW
DRAWN BY:	DATE: 2023-07-07	JOB #:
MAP/PARCEL:	DRAWING #:	23101
A-002		





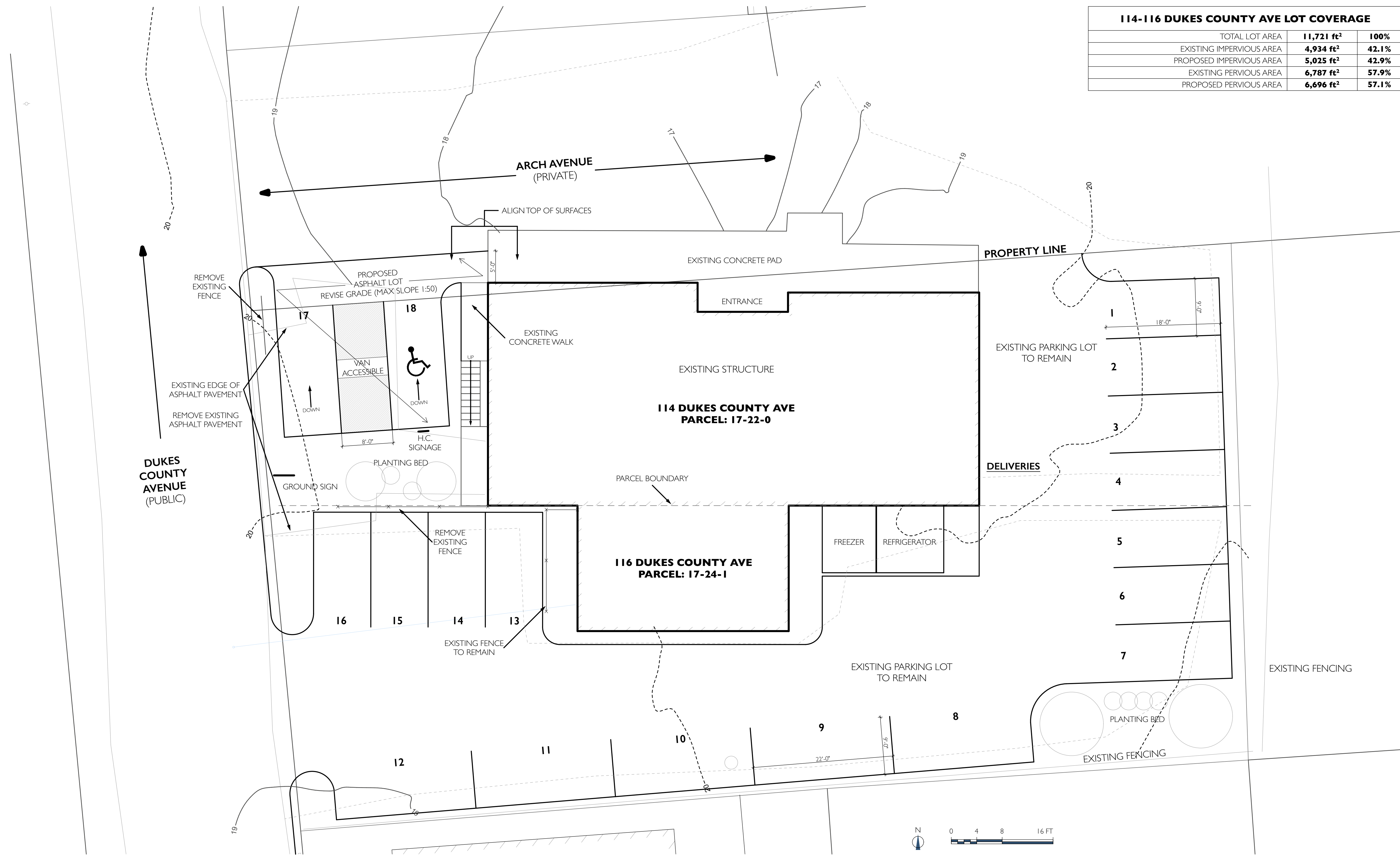
SET:	DATE:
SET #1	07/07/23

PROJECT NAME:	Island Food Pantry
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	SITE PLAN - PROPOSED

DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101
DRAWING #:	

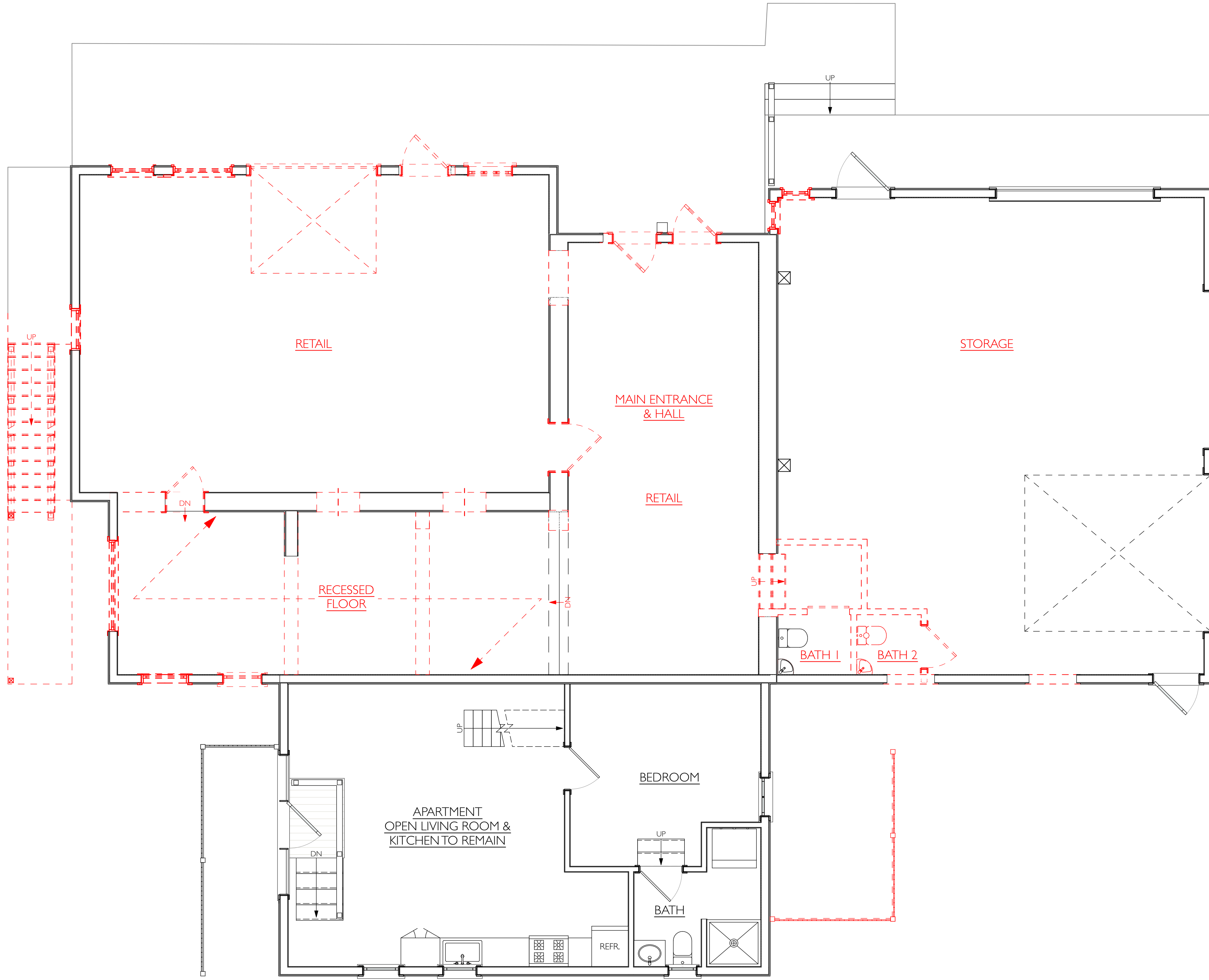
A-003

114-116 DUKES COUNTY AVE LOT COVERAGE			
TOTAL LOT AREA	11,721 ft <sup>2</sup>	100%	
EXISTING IMPERVIOUS AREA	4,934 ft <sup>2</sup>	42.1%	
PROPOSED IMPERVIOUS AREA	5,025 ft <sup>2</sup>	42.9%	
EXISTING PERVIOUS AREA	6,787 ft <sup>2</sup>	57.9%	
PROPOSED PERVIOUS AREA	6,696 ft <sup>2</sup>	57.1%	



**SITE PLAN - PROPOSED**  
SCALE: 1/8" = 1'-0"

SITE PLAN INFORMATION OBTAINED FROM  
SITE PLAN BY VINEYARD LAND SURVEYING & ENGINEERING .  
DATED 06/21/2023



**FIRST FLOOR PLAN - DEMOLITION**

SCALE: 1/4" = 1'-0"

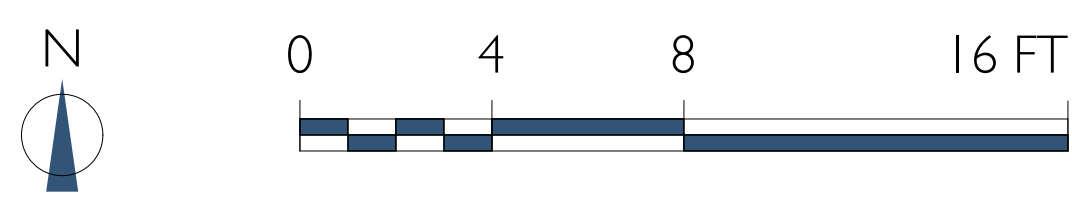
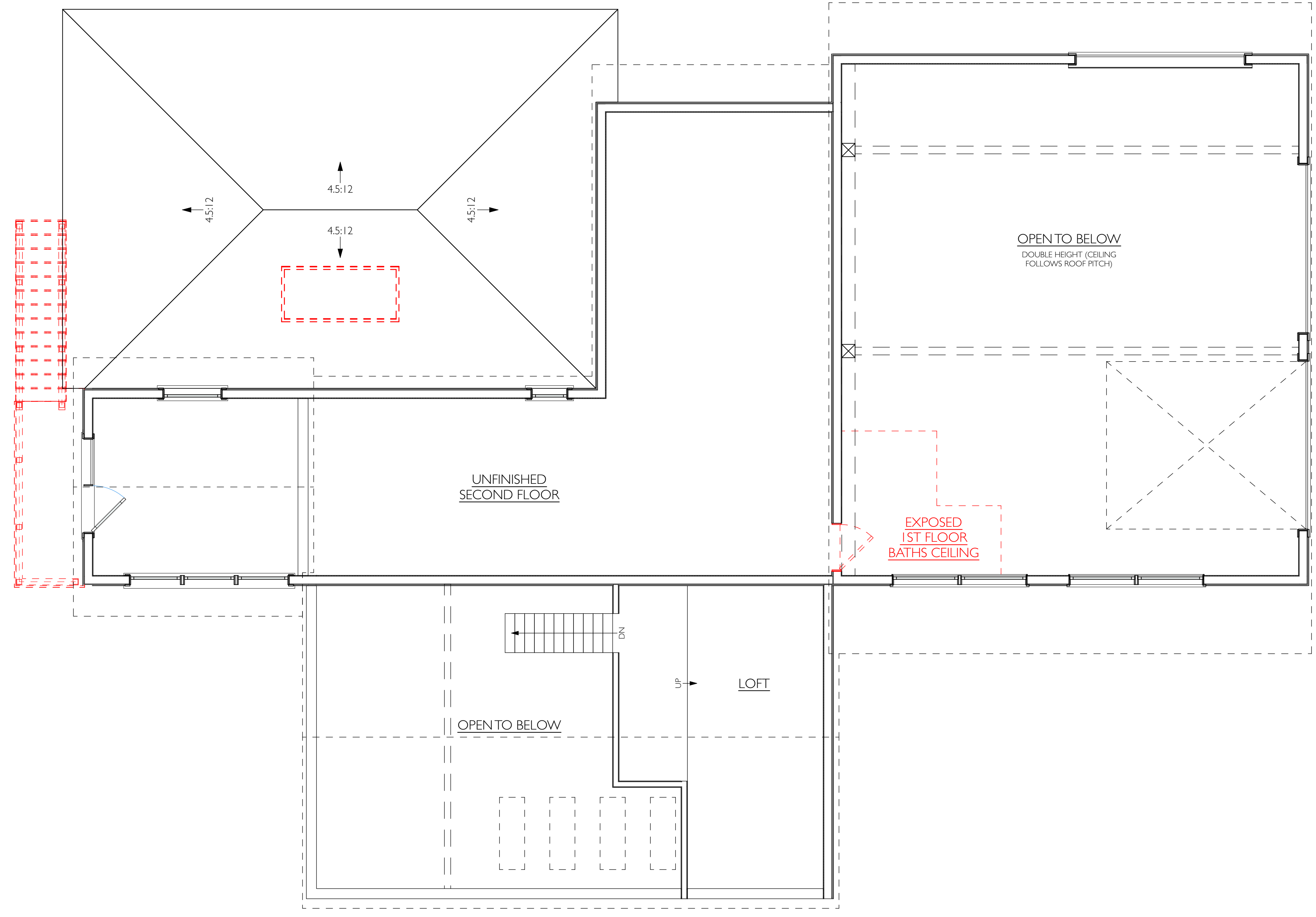


SET:	DATE:
SET #1	07/07/23

PROJECT NAME:	<b>Island Food Pantry</b>
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	<b>FIRST FLOOR PLAN - DEMOLITION</b>

DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101
DRAWING #:	

**D-101**



**SECOND FLOOR PLAN - DEMOLITION**

SCALE: 1/4" = 1'-0"

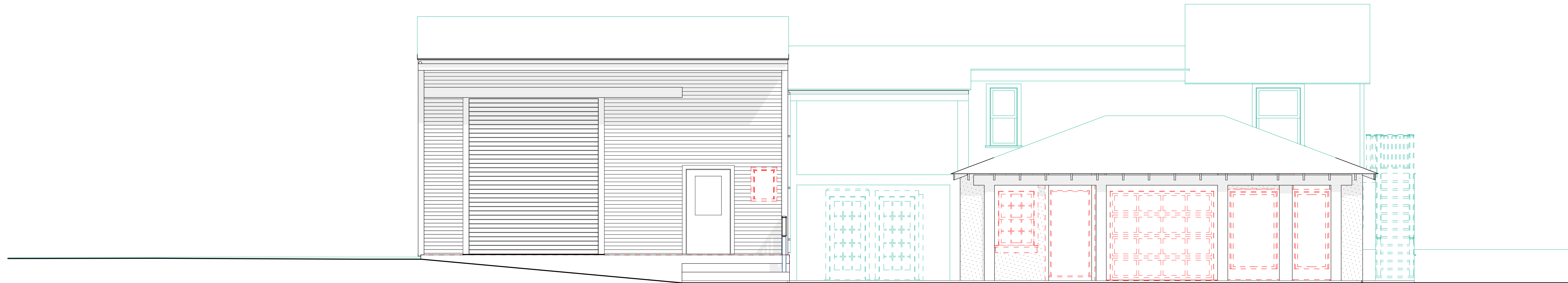


SET:	DATE:
SET #1	07/07/23

PROJECT NAME:	<b>Island Food Pantry</b>
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	<b>SECOND FLOOR PLAN - DEMOLITION</b>

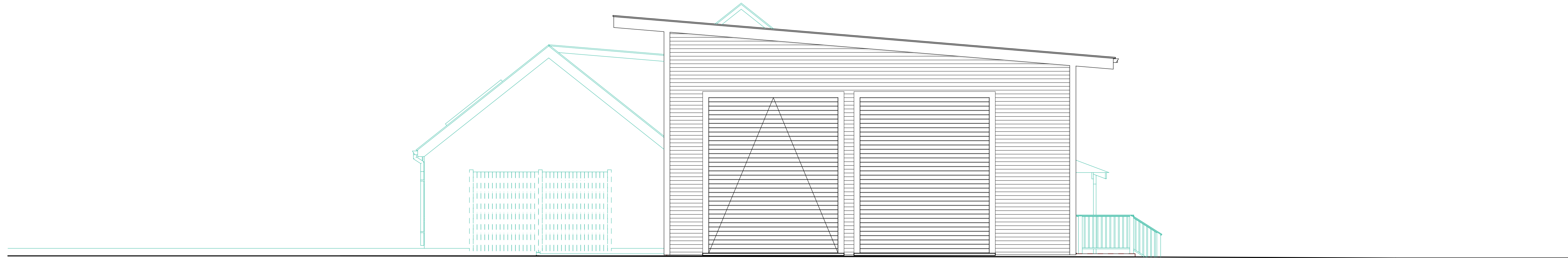
DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101
DRAWING #:	

**D-102**



**NORTH ELEVATION - DEMOLITION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION - DEMOLITION**

SCALE: 1/4" = 1'-0"



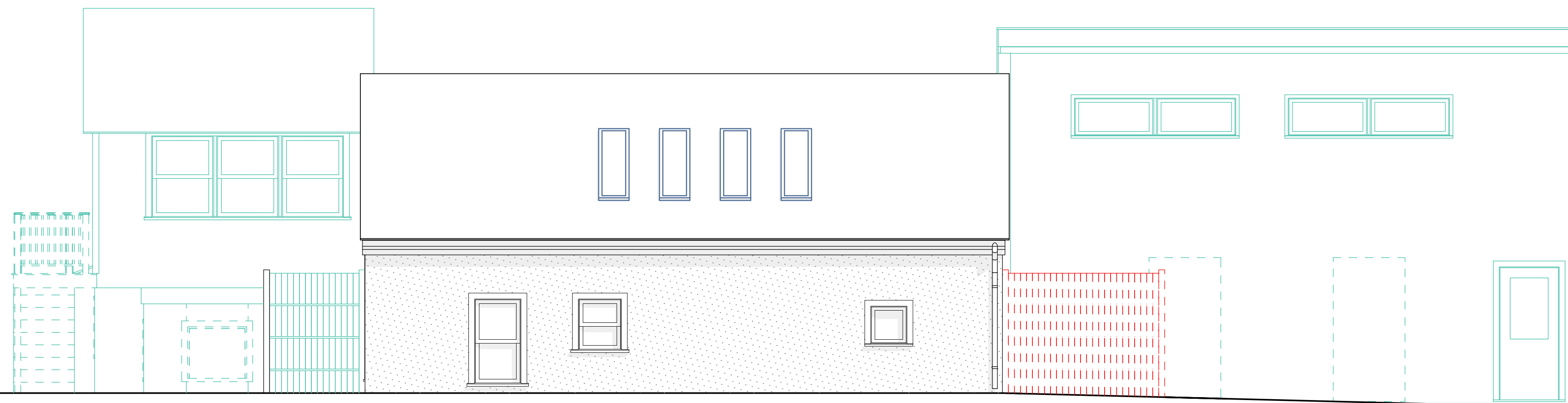
SET:	DATE:
SET #1	07/07/23

PROJECT NAME:	<b>Island Food Pantry</b>
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	<b>EXTERIOR ELEVATIONS - DEMOLITION</b>

DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101

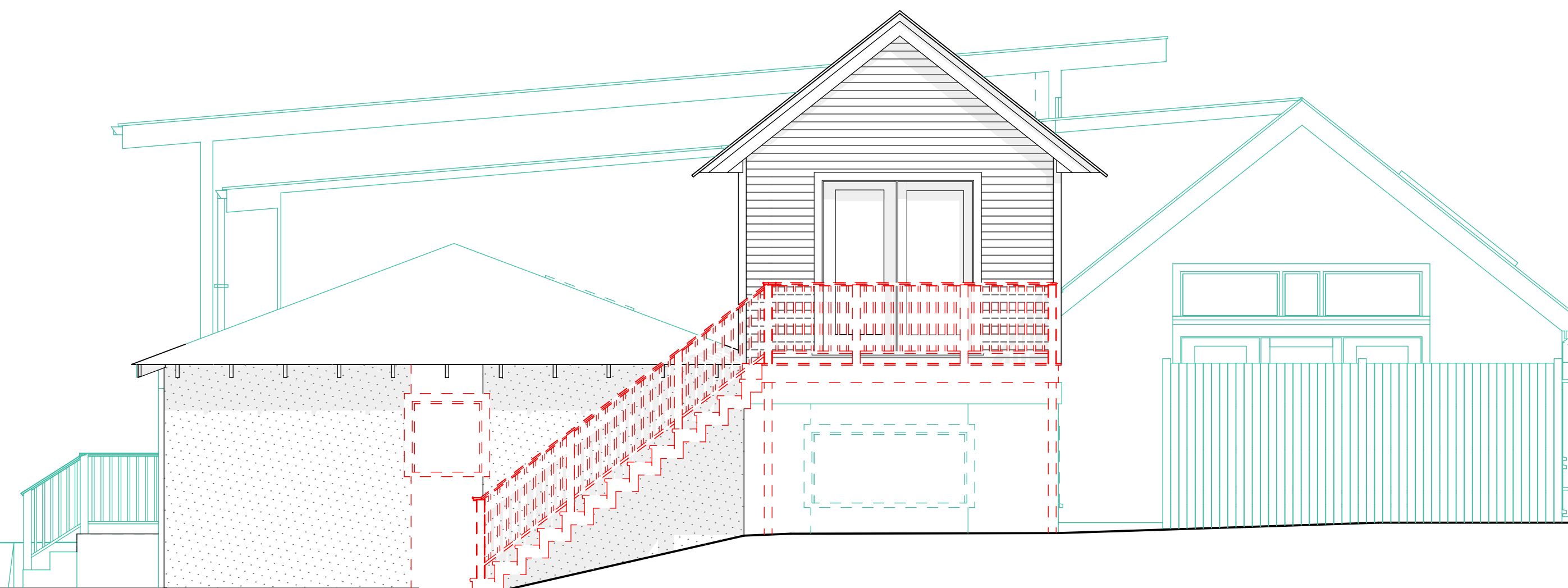
DRAWING #:  
**D-201**





**SOUTH ELEVATION - DEMOLITION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION - DEMOLITION**

SCALE: 1/4" = 1'-0"



SET:	DATE:
SET #1	07/07/23

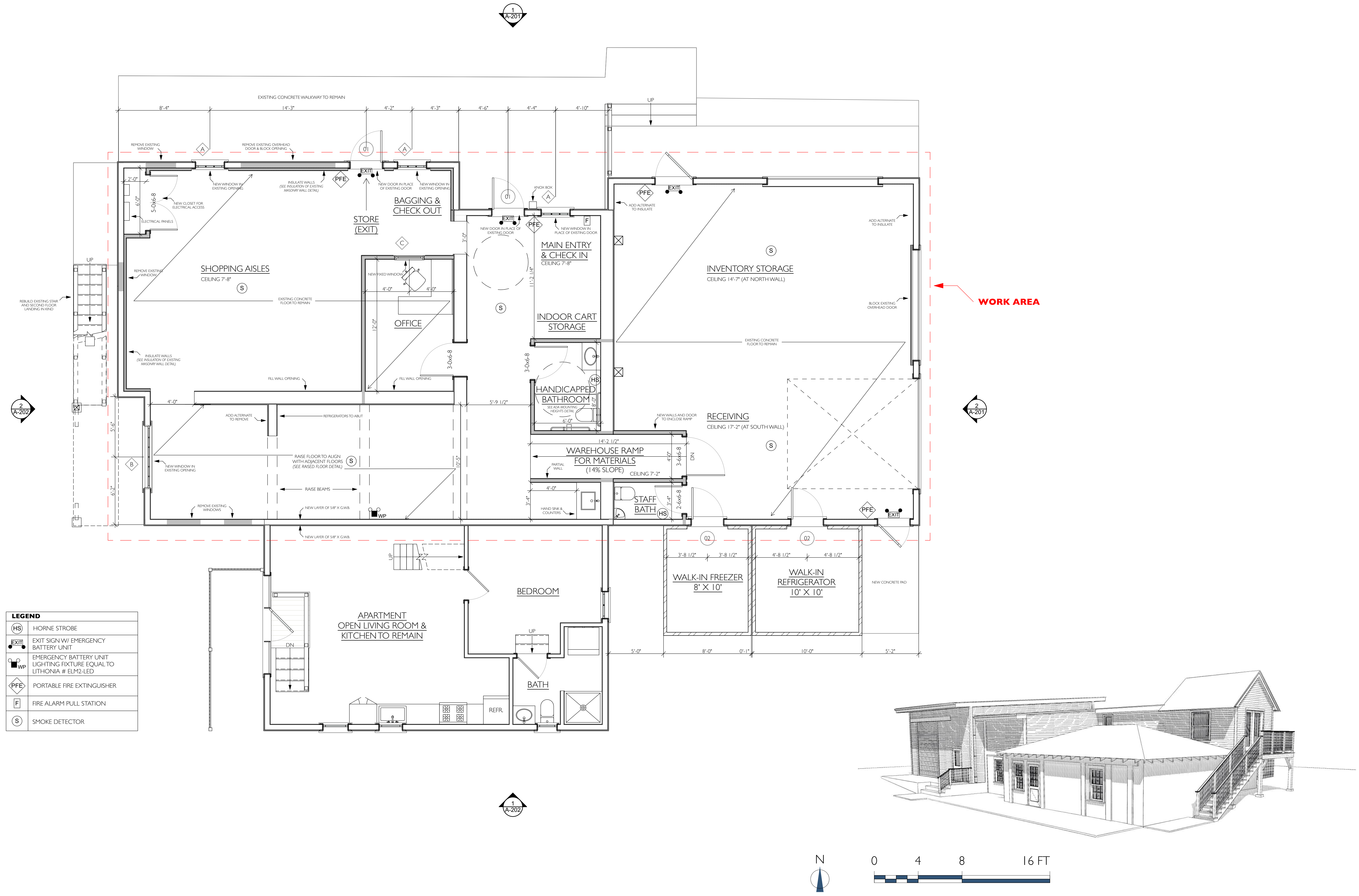
PROJECT NAME:	<b>Island Food Pantry</b>
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	<b>EXTERIOR ELEVATIONS - DEMOLITION</b>
DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101
DRAWING #:	<b>D-202</b>





SET:	DATE:
SET #1	07/07/23

PROJECT NAME:	Island Food Pantry
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	FIRST FLOOR PLAN - PROPOSED
DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101
DRAWING #:	A-101



**LEGEND**

(HS)	HORNE STROBE
EXIT	EXIT SIGN W/ EMERGENCY BATTERY UNIT
EBU	EMERGENCY BATTERY UNIT LIGHTING FIXTURE EQUAL TO LITHONIA # ELM2-LED
PFE	PORTABLE FIRE EXTINGUISHER
F	FIRE ALARM PULL STATION
S	SMOKE DETECTOR

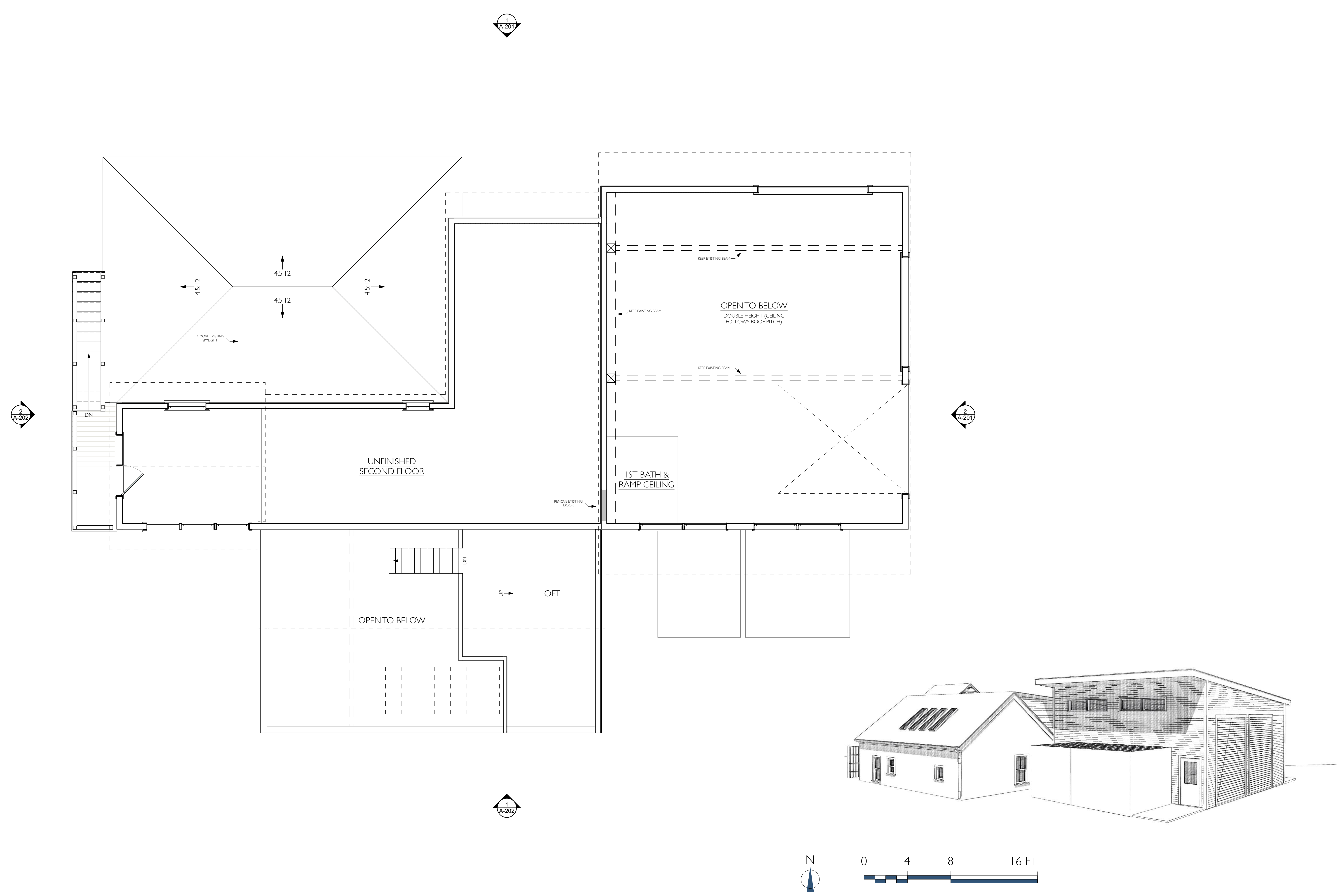
**FIRST FLOOR PLAN - PROPOSED**  
SCALE: 1/4" = 1'-0"





SET:	DATE:
SET #1:	07/07/23

PROJECT NAME:	Island Food Pantry
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	SECOND FLOOR PLAN - PROPOSED
DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101
DRAWING #:	A-102



**SECOND FLOOR PLAN - PROPOSED**  
 SCALE: 1/4" = 1'-0"



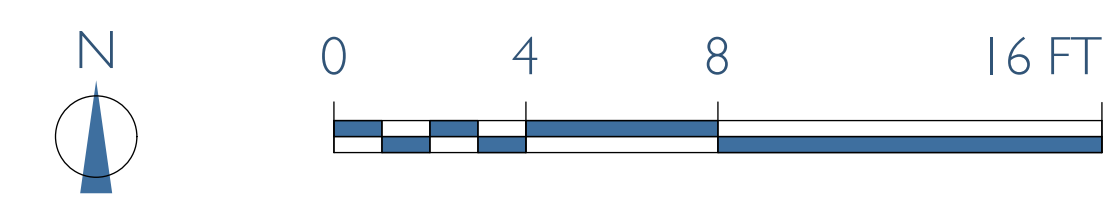
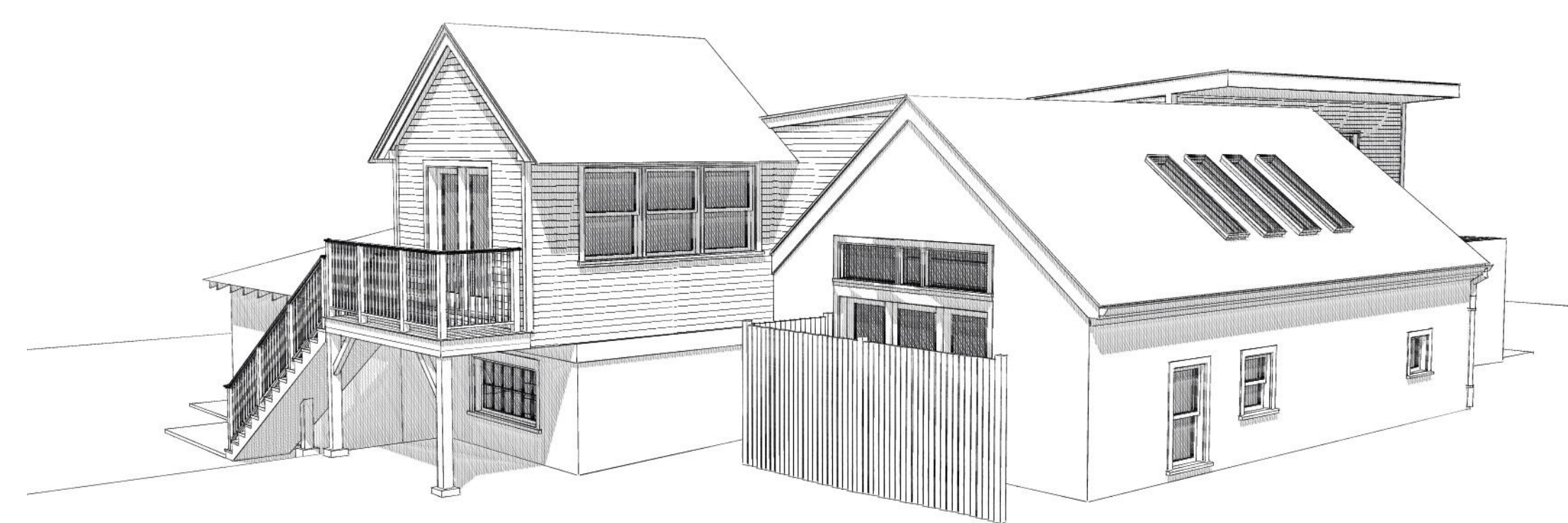
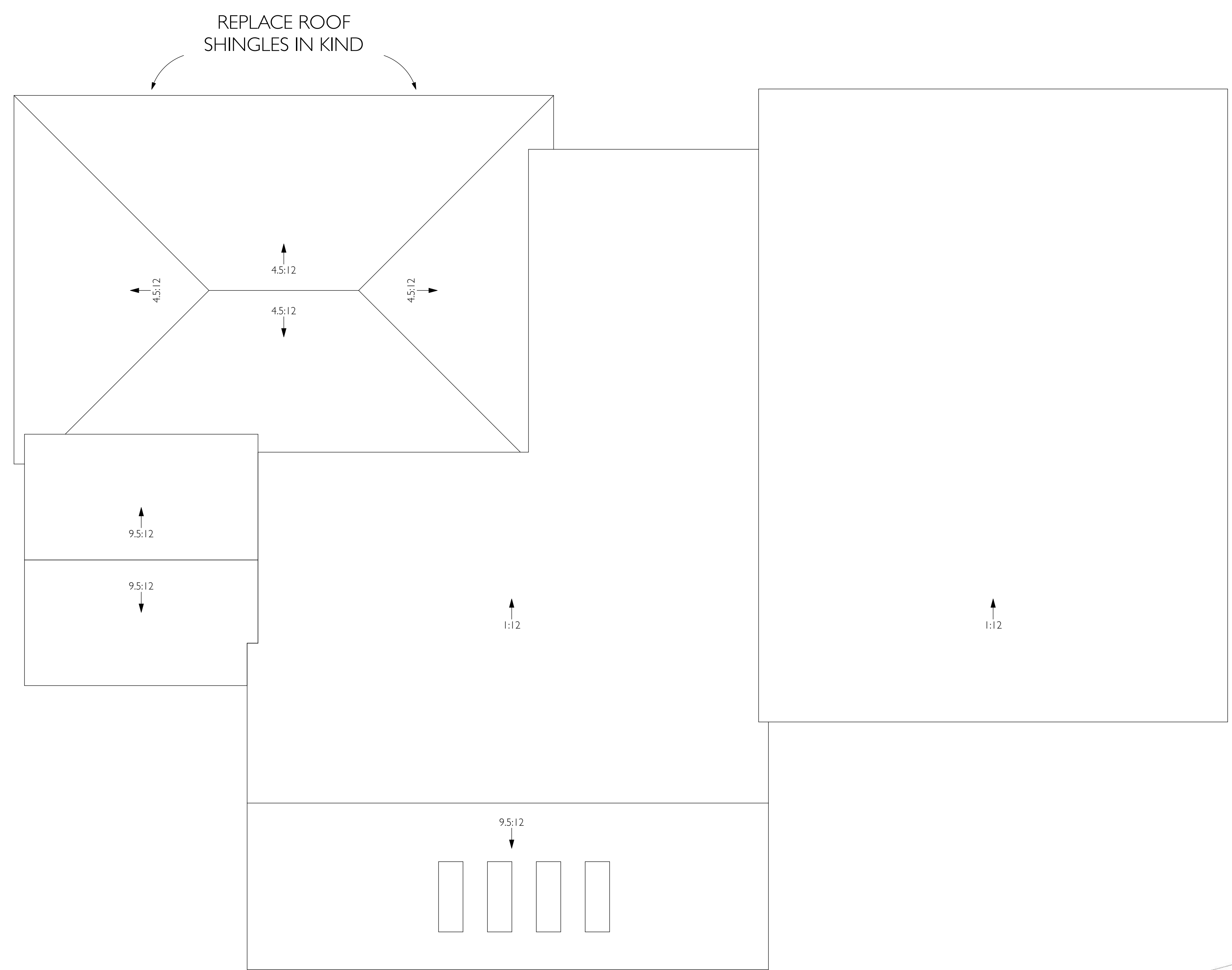


SET:	DATE:
SET #1:	07/07/23

PROJECT NAME:	Island Food Pantry
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	ROOF PLAN - PROPOSED

DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101
DRAWING #:	

**A-103**



**ROOF PLAN - PROPOSED**  
 SCALE 1/4" = 1'-0"

T.O. RIDGE ROOF EL= 15.20'  
T.O. PLATE

T.O. SLAB GARAGE  
EL= 00.00'



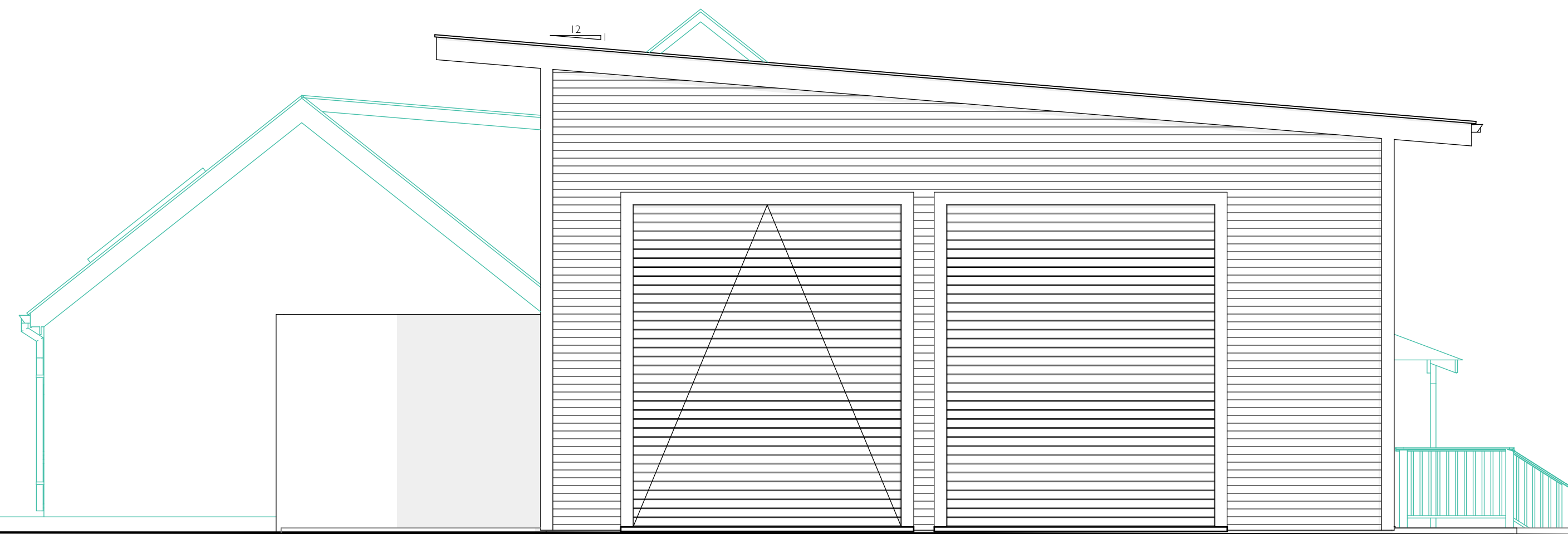
T.O. RIDGE ROOF  
EL= 12.75'

T.O. PLATE

T.O. SLAB  
EL= 00.00'

**NORTH ELEVATION - PROPOSED**

SCALE: 1/4" = 1'-0"



T.O. RIDGE ROOF (HIGH)  
EL= 18.50'  
T.O. PLATE (HIGH)

T.O. RIDGE ROOF (LOW) EL= 15.20'  
T.O. PLATE (LOW)

T.O. SLAB  
EL= 00.00'

**EAST ELEVATION - PROPOSED**

SCALE: 1/4" = 1'-0"



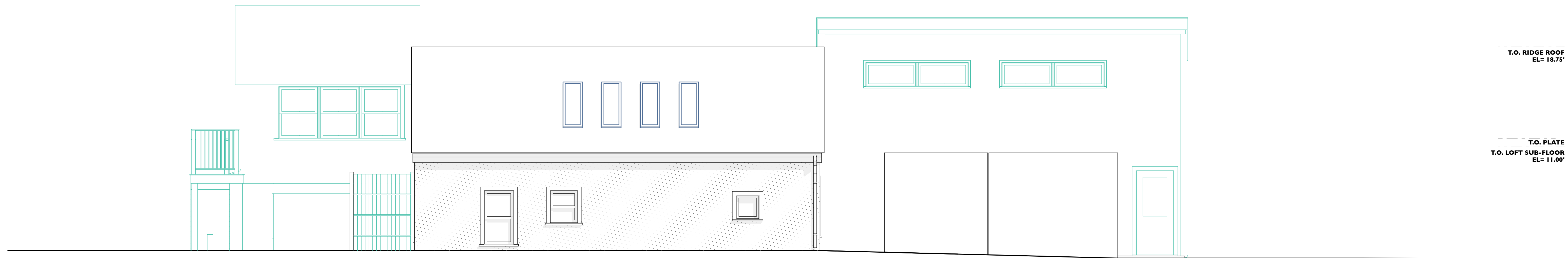
SET:	DATE:
SET #1	07/07/23

PROJECT NAME: **Island Food Pantry**  
ADDRESS: **114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557**  
SHEET TITLE: **EXTERIOR ELEVATIONS - PROPOSED**

DRAWN BY: **QP**  
DATE: **2023-07-07**  
MAP/PARCEL: **17-22-0**  
JOB #: **23101**  
DRAWING #:

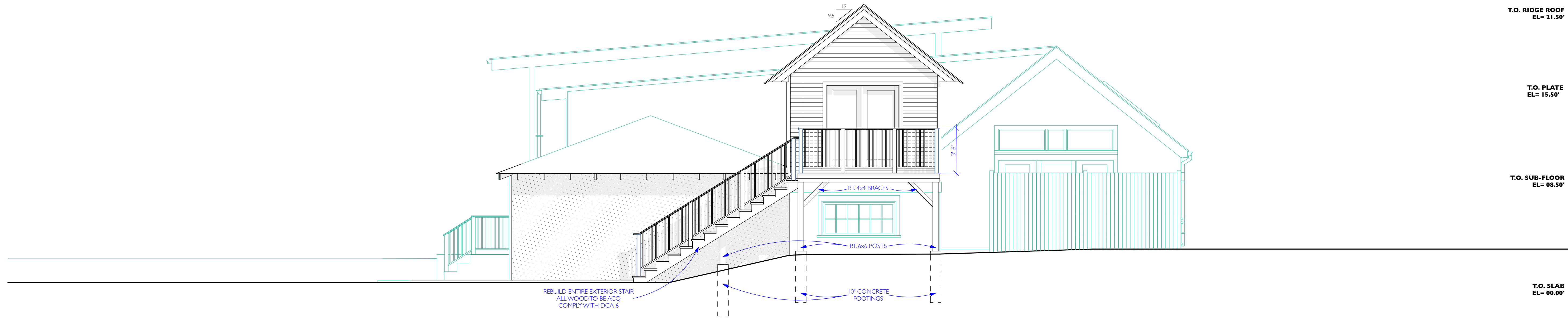
**A-201**





**SOUTH ELEVATION - PROPOSED**

SCALE: 1/4" = 1'-0"



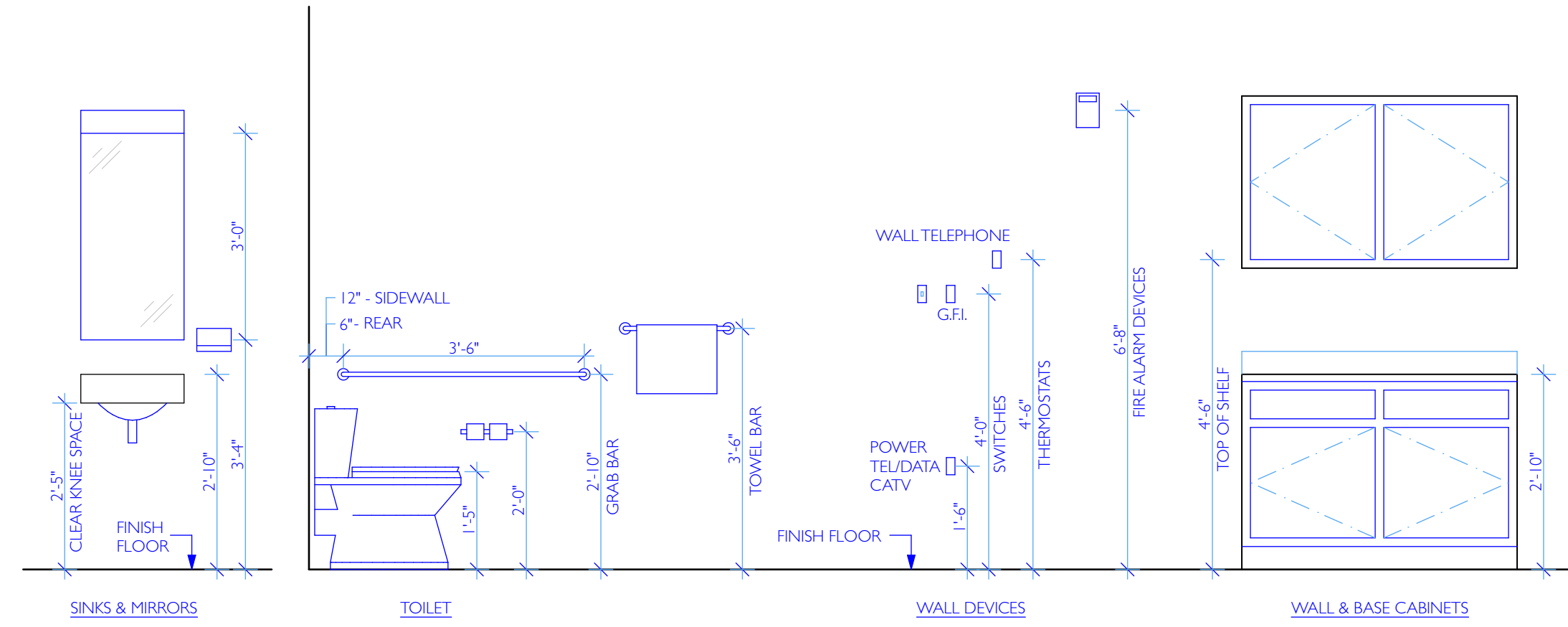
**WEST ELEVATION - PROPOSED**

SCALE: 1/4" = 1'-0"



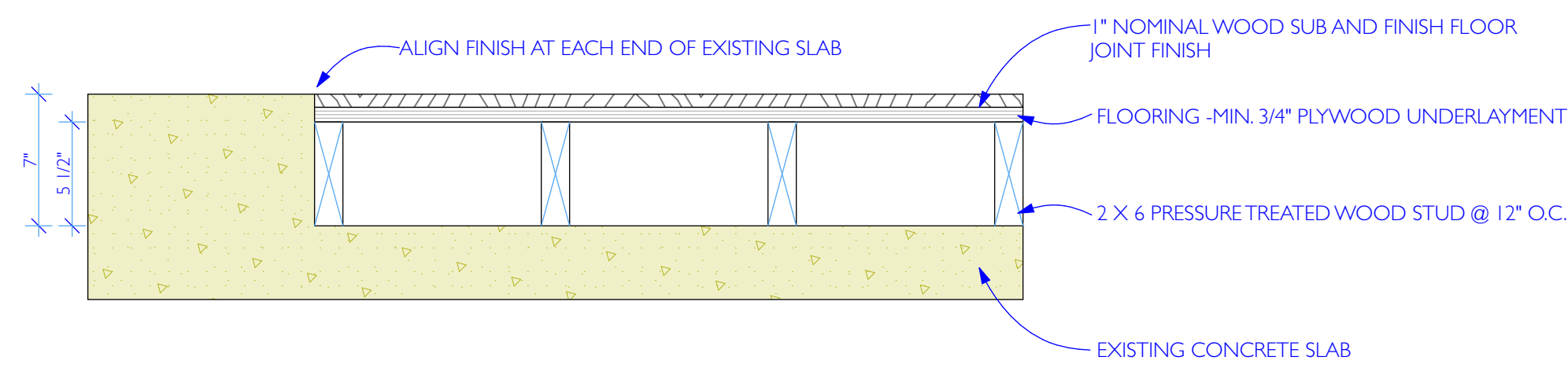
SET:	DATE:
SET #1	07/07/23

PROJECT NAME:	Island Food Pantry
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	EXTERIOR ELEVATIONS - PROPOSED
DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101
DRAWING #:	A-202



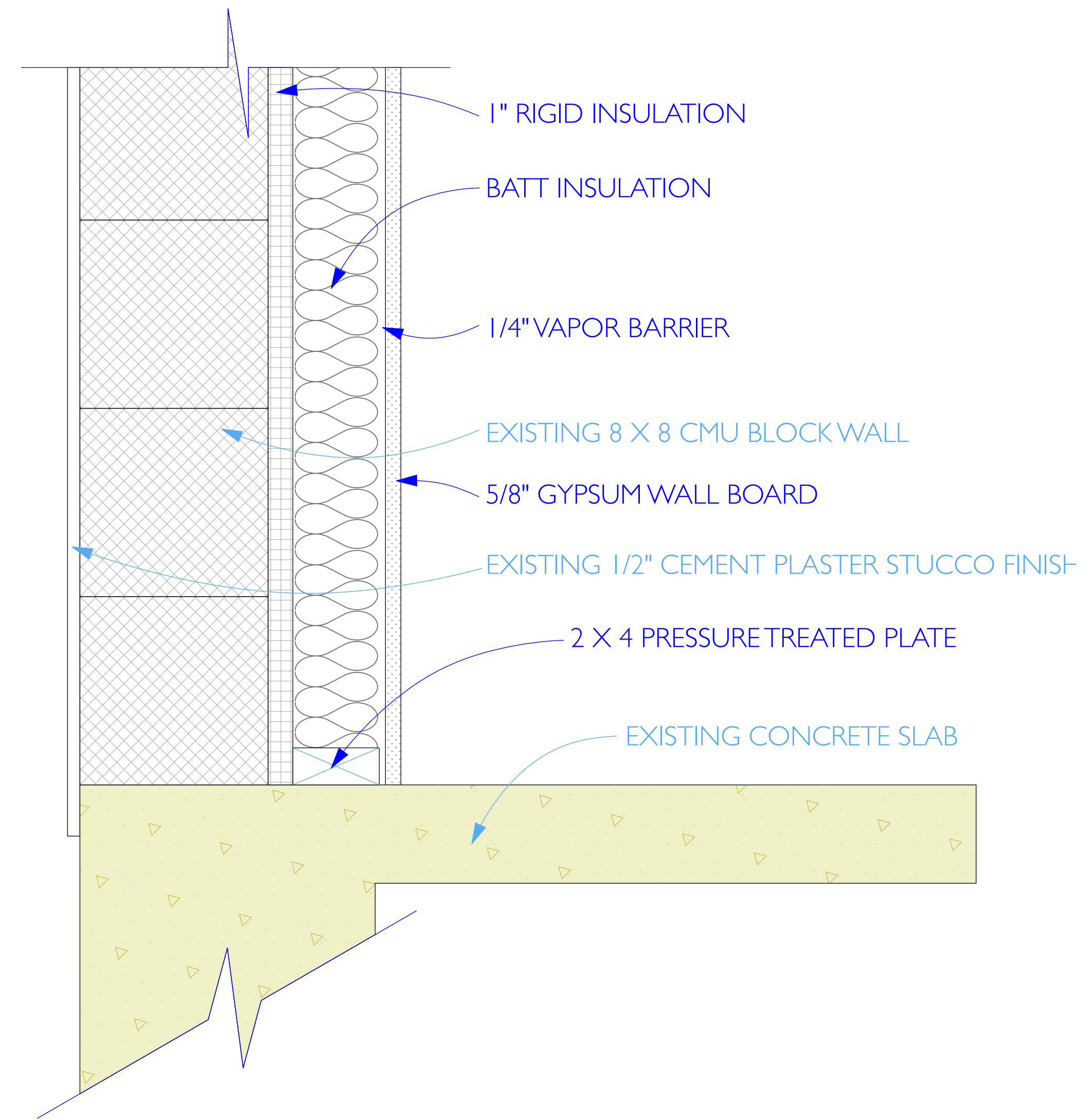
**ADA MOUNTING HEIGHTS**

SCALE: 1/2" = 1'-0"



**RAISED FLOOR DETAIL**

SCALE: 1 1/2" = 1'-0"



**INSULATION OF EXISTING MASONRY WALL**

SCALE: 3/4" = 1'-0"



SET:	DATE:
SET #1	07/07/23

PROJECT NAME:	Island Food Pantry
ADDRESS:	114 - 116 DUKES COUNTY AVENUE OAK BLUFFS, MA 02557
SHEET TITLE:	DETAILS

DRAWN BY:	QP
DATE:	2023-07-07
MAP/PARCEL:	17-22-0
JOB #:	23101
DRAWING #:	